



**Architectural and Engineering Design
and Contract Administration Services**

for

**Northern Kentucky University
Floor Heaving/MEP Renewal – Four Buildings
June 8, 2022**

NKU-32-2022



NKU Floor Heaving/MEP Renewal – Four Buildings
Request for Proposal to Provide Professional Services
RFP NKU-32-2022

Principal Design Professional: Architect

Project Name and Location: Floor Heaving/MEP Renewal – Four Buildings
Northern Kentucky University
Highland Heights, Kentucky

TOTAL Project Scope: See Page Three

Site Visit (Optional): June 17, 2022 at 10:00 AM in Person/On Site
Meet in Fine Arts Center Corbett Theater

Deadline for Questions: Monday, June 27, 2022 (2:00 PM)

Final Date for Issuance of Addenda: Wednesday, June 29, 2022

Response Deadline (Proposals Due): Thursday, July 7, 2022 (2:00 PM)

Short List Meeting: July 14, 2022 _____

Notification of Short Listed Firms: July 15, 2022 _____

Interviews: July 29, 2022 _____

If three or fewer firms submit responses to this RFP, all firms will be interviewed. The Interviews may be moved to the date set for the shortlist meeting.

Contact regarding this project is to be directed only to Ryan Straus or Blaine Gilmore in NKU Procurement Services. Discussing this project with any other NKU staff member is grounds for disqualification of the design firm/team.

All requests for information, questions or comments relative to this project should be directed to:

Ryan Straus, Procurement Services
Lucas Administrative Center, Room 617
Northern Kentucky University
Phone: (859) 572-6605
Email: strausr2@nku.edu

NKU Floor Heaving/MEP Renewal – Four Buildings
 Request for Proposal to Provide Professional Services
 RFP NKU-32-2022

NKU is seeking a design team to lead the design and construction administration for asset preservation work in four buildings:

- Fine Arts Center
- Nunn Hall
- Landrum Hall
- Administrative Center

Building/Project	Total Scope
Fine Arts Center – Phase One	
Floor Heaving Repair	\$ 6,200,000
HVAC System Replacement	\$ 6,900,000
Fire Alarm Modernization	\$ 140,000
TOTAL Phase One – Fine Arts	\$13,240,000
Nunn Hall – Phase Two	
Floor Heaving/Foundation Leak Repair	\$ 3,700,000
Plumbing Infrastructure and Restroom Renovation	\$ 1,400,000
HVAC System Replacement	\$ 3,700,000
TOTAL Phase Two – Nunn Hall	\$8,800,000
Landrum Academic Center – Phase Three	
Floor Heaving Repair	\$ 2,300,000
Plumbing Infrastructure and Restroom Renovation	\$ 1,650,000
TOTAL Phase Three – Landrum	\$3,950,000
Lucas Administrative Center – Phase Four	
Plumbing Infrastructure and Restroom Renovation	\$ 1,750,000
TOTAL Phase Four – Lucas Admin Center	\$1,750,000

The work will be managed in four phases; phases one and two is anticipated to run concurrently. The university plans to either:

- a) select one design team as a result of this RFP process to begin design for phases one and two, reserving the right to negotiate and award a contract to the same design team for phases three and/or four; **OR**,
- b) select two design teams as a result of this RFP process, one for Fine Arts and one for Nunn Hall, reserving the right to award the Landrum projects (Phase 3) and/or the Administrative Center project (Phase 4) to one of these two firms; **OR**,
- c) issue an RFP to retain a different design team for phases three and/or four.

The work will be managed by building, with bidding to occur by building. We do not anticipate hiring a construction manager. See below for outline of work planned for each building. These renovations are designed to eliminate significant maintenance issues to ensure safety and occupant comfort.

RESPONSES: Design teams should indicate in their cover letter their level of interest in each of these projects, or all of them, so the selection committee understands your team’s willingness and ability (from a manpower standpoint) to take on these projects.

SUMMARY: The design team should have the experience, capability and staffing to effectively coordinate complex design and construction in occupied buildings. Parts of the buildings may need to be vacated to allow for work to proceed, and the design team shall work closely with NKU to coordinate all work. The work within these occupied buildings will need to be phased to some extent. We are looking for a design team willing to partner with us to develop a workable plan for execution of these important projects.

PROJECT DESCRIPTIONS

FINE ARTS CENTER – PHASE ONE

Background: The 160,000 GSF, four-story Fine Arts Center houses the NKU School of the Arts, or SOTA, including Visual Arts, Theater & Dance, and Music. The Fine Arts Center (FA) was constructed in 1977 and is poured-in-place (PIP) concrete with a concrete structural frame and concrete block partition walls. The FA Addition was completed in 1992 and has a PIP concrete structural frame with a precast concrete exterior skin. FA is connected to the central Power Plant for steam and chilled water. Various supporting test results, reports, drawings, etc. can be found here: https://my.mail.nku.edu/EnZVm_qdQfNKgZhUZBhI0tEB53YBatz7z14mcDpJs4dOA?e=RrFHFp

1. Floor Heaving Remediation

The first floor slab of FA has raised due to the presence of expansive shale in the subsoil, resulting in heaving of the finished floor. Upward pressure on the concrete structural frame is not an issue, but the raised floor is pushing the concrete block walls upward, causing uneven floors, and significant structural stress on 2nd floor beams and floor slabs.

The areas proposed for remediation, graphically depicted in **Appendix A**, total about 16,000 square feet. These areas are located in the original 1977 section of the building. This area includes the Corbett Theater stage, scene shop, adjacent storage and dressing rooms, a dance studio, two acting labs, two restrooms and a large lobby area. The objective is to remove damaged building elements, including the floor slab and walls, and install a new floor slab solution that precludes further damage. All walls are to be restored with new materials, although walls may be reconfigured. Some design/programming hours may be needed for spatial realignments (to replace walls) as well as interior finish selections.

Two floor heaving repair projects have previously been completed in FA:

- a) In 2014, the Greaves stage and adjacent hallways and restrooms were remediated. This repair was located in the FA expansion area. This remediation project was designed by Ross Tarrant/THP/KLH/Thelen/Bayer Becker, and the low bid contractor was Turnbull Wahlert.
- b) In 2020, various temporary repairs to eliminate life safety concerns related to movement of the 2nd floor slab (caused by upward pressure placed on the concrete block partitions) were completed in the original part of the building, which is the area that is proposed to be remediated at this time. This work was designed by THP. Haire Construction completed the work.

2. HVAC System Renovation

This building has several types of HVAC systems; a four-pipe hydronic system that is in need of full replacement; original constant volume; VAV systems; baseboard heat; and, the air handlers are original. The goal is to modernize the building's system for energy efficiency and occupant comfort. Full re-engineering of building systems is needed, with air balance and commissioning.

3. Fire Alarm System Modernization

The fire alarm system in the original section of Fine Arts is to be upgraded from zoned, horn/strobe devices to intelligent, speaker/strobe devices and integrated into the multi-panel EST-3 control platform. The fire alarm system in the newer part of Fine Arts is tied to an intelligent EST3 panel.

NUNN HALL – PHASE TWO

Background: The 113,000 GSF, five-story Nunn Hall houses Chase College of Law and the Law Library. Nunn Hall, the first building constructed on the NKU campus in 1972, is a poured-in-place concrete building with a concrete structural system. Nunn is connected to the central Power Plant for steam and chilled water. Various supporting test results, reports, drawings, etc. can be found here: https://mymailnku-my.sharepoint.com/:f:/g/personal/strausr2_nku_edu/EnZVm_qdQfNKgZhUZBhI0tEB53YBatz7z14mcDpJs4dOA?e=RrFHFp

1. Floor Heaving Remediation

The first floor slab of Nunn has raised due to the presence of expansive shale in the subsoil, resulting in heaving of the finished floor. Upward pressure on the concrete structural frame is not an issue, but the raised floor causes uneven floors, bowing of drywall and is putting pressure on underground piping. The area of heaving is most pronounced in the elevator lobby, in the area of the restrooms and along the east wall. Nunn Hall has drywall partition walls, unlike Fine Arts. This will be the first floor heaving remediation project for Nunn Hall.

The areas proposed for remediation, graphically depicted in **Appendix A**, total about 8,000 square feet. The area includes the elevator lobby, a mechanical room, restrooms, data/electrical closet, and law library study areas. The objective is to remove damaged building elements, including the floor slab and walls, and install a new floor slab solution that precludes further damage. All walls are to be restored with new materials, although walls may be reconfigured. Some design/programming hours may be needed for spatial realignments (to replace walls) as well as interior finish selections

2. HVAC System Renovation

New air handlers have been installed on floors three and four of Nunn and new air handlers will be installed to serve floors 1, 2 and 5 in the next six months. The mechanical rooms have original pneumatic controls. The existing VAV system is a modification of the original constant volume system and needs to be completely re-engineered and replaced. The dielectric unions are leaking throughout the building. The ductwork would not be replaced but may need to be internally sealed. An updated air balance is needed.

3. Restroom Replacement

The restrooms are stacked on all five floors, with two additional small restrooms on the 5th floor, and need to be fully replaced. Possibly due to pressure from floor heaving, or simply due to age, the waste and vent piping “stacks” have deteriorated, resulting in sewer gas escaping into the building. The finishes in the restrooms are in poor condition, and the restrooms do not meet accessibility standards. KZF completed a plumbing infrastructure study of the Nunn restrooms in 2019, including new restroom layout options; see link for copy.

LANDRUM ACADEMIC CENTER – PHASE THREE

Background: The 100,500 GSF, five-story Fine Arts Center houses English, History, Sociology/Anthropology/Philosophy, Media Services, Kentucky Center for Mathematics and CINSAM; and soon, the Dean of Arts & Sciences. Landrum (LA) was constructed in 1976 and is a precast concrete building with a poured-in-place concrete structural frame. The elevated slabs are precast. All interior partitions are gypsum board. LA is connected to the central Power Plant for steam and chilled water. Various supporting test results, reports, drawings, etc. can be found here: https://mymailnku-my.sharepoint.com/:f:/g/personal/strausr2_nku_edu/EnZVm_qdQfNKgZhUZBhI0tEB53YBatz7z14mcDpJs4_dOA?e=RrFHFp

1. Floor Heaving Remediation

The first floor slab of Landrum has raised due to the presence of expansive shale in the subsoil, resulting in heaving of the finished floor. Upward pressure on the concrete structural frame is not an issue, but the raised floor causes uneven floors, bowing of drywall and is putting pressure on underground piping. The area of heaving is most pronounced in the entrance/elevator lobby, in the area of the restrooms and in the office areas adjacent to the first floor entry.

Part of the first floor was remediated in 1999; the repaired area extends from the east edge of the RR/mechanical rooms all the way to the east wall of the building. The areas proposed for remediation, graphically depicted in **Appendix A**, total about 5,000 square feet. The area includes the elevator lobby, the mechanical room, restrooms, data/electrical closet, and office areas. The objective is to remove damaged building elements, including the floor slab and walls, and install a new floor slab solution that precludes further damage. All walls are to be restored with new materials, although walls may be reconfigured. Some design/programming hours may be needed for spatial realignments (to replace walls) as well as interior finish selections

2. Restroom Replacement

Landrum's restrooms are stacked on all five floors. Possibly due to pressure from floor heaving, or simply due to age, the restrooms need to be fully replaced. The waste and vent piping "stacks" have deteriorated. The finishes in the restrooms are in poor condition, and the restrooms do not meet accessibility standards.

ADMINISTRATIVE CENTER – PHASE FOUR

Background: The 108,405 GSF Lucas Administrative Center opened in 1981. The building has a PIP concrete frame and a precast exterior façade. AC houses nearly all administrative operations of the university. Drawings of the existing restrooms can be found here: https://mymailnku-my.sharepoint.com/:f:/g/personal/strausr2_nku_edu/EnZVm_qdQfNKgZhUZBhI0tEB53YBatz7z14mcDpJs4_dOA?e=RrFHFp

1. Restroom Replacement

The waste and vent stacks in this building have deteriorated, and full replacement of the restrooms, which stack on all eight floors, is planned. There are several additional small restrooms on the eighth floor. The finishes in the restrooms are in poor condition, and the restrooms do not meet accessibility standards.

General Background for RFP

A. Statutory authority:

Selection of firms to provide professional services to Northern Kentucky University are governed by the provisions of the Kentucky Revised Statutes, KRS 45A.085, <http://www.lrc.ky.gov/KRS/045A00/085.PDF>

B. Responsiveness

The objective of the selection process is to provide a uniform methodology for Northern Kentucky University to procure professional architectural and/or engineering services. Members of the selection committee are asked to evaluate fairly all responses and to compare each team's qualifications with the project requirements. Selections will be determined through the unbiased and independent interaction of the members of the committee. Therefore, it is in your firm's best interest to be specifically responsive to the requirements of this solicitation. By submitting qualifications, the respondent represents that it has thoroughly examined and become familiar with the work required under this RFP and that it is capable of performing quality work to achieve the University's objectives.

C. Project Guidelines

1. Consultant Team Composition

The consultant team shall include, at a minimum, the following professional design disciplines, resident in one or multiple firms. The consultant team may include other expertise.

- Architect
- Structural Engineer
- MEP Engineer
- Geotechnical Engineer
- Civil Engineer

The university will expect the architectural firm leading the design team to appoint a project manager who will stay with the project until completion of construction. The firm may appoint a different project manager for Phase one (Fine Arts) and for Phase two (Nunn Hall).

2. Project Budgetary Scope and Funding

The total scopes for these projects are as outlined on page three of this RFP. These figures include all construction expenses, site work, A/E fees, inspections, IT, furnishings, and contingencies. These projects will be funded with state Asset Preservation funds, which the university will match, per state guidelines.

3. LEED

These projects may need to be LEED silver certified in accordance with the state’s High Performance Building Standards. NKU understands that achieving certification may not be technically or financially feasible given the extent of planned renovations. If necessary, NKU will seek state review of the appropriateness of LEED for these projects. However, the projects shall be designed to the highest extent possible within the scope, building characteristics and project budget to achieve all possible LEED points for each of the LEED categories.

4. Facilities Management Design & Construction Guidelines

The design team will be expected to incorporate all applicable items and conditions contained in the “NKU Facilities Management Design & Construction Guidelines” into the project drawings and specifications.

5. Schedule

The University will need to maintain occupancy of the buildings while the work is underway, although sections of each building may need to be vacated to allow work to proceed safely. The university and the design team will work together to develop a schedule, which may include multiple phases for each building. The objective is to start construction on phases one and two (Fine Arts and Nunn) during the spring semester, 2023.

Phases one and two will proceed immediately upon completion of this selection process. Phases three and four (Landrum and Administrative Center) are expected to start design approximately upon completion of design for phases one and two.

D. RFP Response

Addenda/Clarifications - Any University changes to this RFP will be made by written addendum. Verbal modifications will not be binding.

Site Visit - An optional pre-proposal meeting is set for **June 17, 2022 at 10:00 AM**. The meeting will begin in Corbett Theater in the Fine Arts Center on the NKU campus, in Highland Heights, Kentucky.

Questions – Written RFP Questions or comments must be received by Ryan Straus no later than **2:00 PM EDT on Monday, June 27, 2022**. Inquiries will not be accepted after this date and time.

Confidentiality - In accordance with KRS 45A.085 Competitive Negotiation, all proposals received or information derived therefrom remain confidential until a contract is awarded or all proposals are rejected.

Preparation and Submission of Proposal

The proposal shall be prepared double-sided on 8 ½” x 11” paper. Text type size shall be a minimum of 10 point font. Index, tab and sequentially number RFP Response sections as outlined below. Binders and covers are at respondent’s discretion; however, elaborate graphics and expensive paper and binding are not necessary. All text and exhibits shall be concise and entirely relevant to the RFP requirements. Organize as follows:

Tab	Content	Page Maximum
1	Cover Letter	4
2	Design Team Organization and Key Personnel	As required
3	MBE/DBE Participation	As required
4	Experience and References	As required
5	Work Load and Design Schedule	As required
6	SF330 Parts II	As required
7	1. Signed and Notarized Authentication of Bid, Statement of Non-Collusion, Non-Conflict of Interest and Bidder Certifications and Reciprocal Preference. 2. Signed Official Signature page. 3. Signed “KY Permit & Registration” page.	As required

NOTE: Submittals that do NOT contain the above items will be deemed a non-responsive proposal and disqualified from the selection for this project.

The respondent shall submit, via US Postal Service, courier or other delivery service:

- five bound copies;
- one unbound original of its proposal; and,
- one USB drive containing the proposal in electronic format

in a sealed package **by 2:00 PM on Thursday, July 7, 2022**. Failure to provide the required number of and type of proposal copies will result in the submittal being considered non-responsive and disqualified from the selection process. Submittals shall be addressed to:

Mr. Blaine Gilmore, Procurement Services
 617 Lucas Administrative Center
 Northern Kentucky University
 Highland Heights, KY 41099

****Bearing respondent’s name and address, and clearly marked as follows:**

RFP NKU-32-2022
A/E Services
Floor Heaving/MEP Renewal - Four Buildings

1. Tab 1 - Cover Letter

The cover letter shall serve as an introduction to the Respondent’s qualifications and capabilities and shall be no more than 4 pages in length. Include the following:

- a. Identification of all design team member firms, including the project manager.
- b. Statement of your team’s interest in Phases 1-4 as outlined herein.
- c. Statement of extent to which team members have worked together on previous design projects of similar size, scope and complexity.
- d. Explain why your team is particularly qualified for this project. Demonstrate your ability to provide NKU with an exemplary project.
- e. Statement that an architect and a structural, mechanical, electrical, civil and geotechnical engineer on the team hold a professional license to practice their discipline in the Commonwealth of Kentucky.
- f. An email address---the results will be sent via email.
- g. Acknowledgement of receipt of RFP addenda, if any.
- h. Signature of person authorized to bind the offering firm to Proposal terms.

2. Tab 2 - Design Team Organization and Key Personnel

All design firms for this project must be located within 150 miles of NKU with experience working on college/university campuses. Design disciplines:

- Architecture
- Structural Engineering
- MEP Engineering
- Geotechnical Engineering
- Civil Engineer
- Cost Estimating

Consultants to be Retained by University: NKU will hire separately the following professional services as needed.

- Quality control, testing and inspections
- Commissioning agent

NOTE: Any known, or anticipated, changes in the composition of the proposed project team shall be made known to the Selection Committee administrator, in writing, prior to the completion of the selection process. Non-compliance with this requirement may be deemed as sufficient reason for disqualification.

Provide the following about your team in Tab 2 of your RFP Response:

- a. A graph-type organization chart to identify the interrelationship of all firms.
- b. A separate list shall identify for each firm (provide only the names of individuals who will actually be assigned to our project):
 - the principal in charge
 - project manager
 - key professional and technical staff
- c. Provide address/location where each firm will perform its work.

- d. Include any special consultants and/or business entities that the submitting firm proposes to engage and use for these projects.
- e. Provide individual resumes of no more than 2 pages in length, designed to demonstrate personal and professional qualifications, experience and training relevant to this project **only for key professionals who will play a major project role**. Include a list of projects to which the individual is currently assigned, and describe their role. If a project for which a person claims experience occurred while employed for a different firm, identify that firm. Include the time frame for each experience item.
 - **Project Manager’s** resume may be 3 pages in length; provide a brief outline of the project manager’s experience on projects of similar complexity with evidence of demonstrated ability to lead and manage the consultant team.

3. Tab 3 – MBE/DBE Participation

Northern Kentucky University is dedicated to promoting minority participation in all university work. Minority firms are encouraged to submit as a prime or sub-consultant as appropriate. All non-minority firms submitting as a prime are encouraged to consider using minority sub-consultants as appropriate.

Evidence of respondent’s full good faith effort is to be included, briefly stating what efforts were made to seek and obtain the participation of a MBE/DBE owned professional design firm on their proposed team. To assist committee members in assessment of RFP responses, provide an estimate of your team’s total fees that will be earned by MBE/WBE members of your team. Provide certified documentation of MBE/DBE status and an outline of MBE/DBE firm’s level of participation expressed as an estimated percentage of the total scope of work.

For assistance in identifying minority design professional firms, respondents may contact the Office of Equal Employment Opportunity/Contract Compliance, phone: 502-564-2874. For the purposes of this submittal requirement, MBE firms are those firms that have been certified by one of the following:

Commonwealth of Kentucky's SMALL BUSINESS CONNECTION website:

<https://secure.kentucky.gov/sbc/default.aspx>

Kentucky Minority and Women Business Enterprise website:

<https://mwbe.ky.gov/Pages/default.aspx>

Kentucky Service-Disabled Veteran-Owned Small Business website:

<https://finance.ky.gov/initiatives/sdvosb/Pages/default.aspx>

Kentucky Transportation Cabinet Disadvantaged Business Enterprise directories: <http://transportation.ky.gov/Civil-Rights-and-Small-Business-Development/Pages/Certified-DBE-Directory.aspx>

Finance and Administration Cabinet, Office of EEO/Contract Compliance: email Finance.ContractCompliance@ky.gov or call 502-564-2874

U.S. Small Business Administration, Dynamic Small Business Search website:

http://dsbs.sba.gov/dsbs/search/dsp_dsbs.cfm

Louisville /Jefferson County Metropolitan Sewer District website:

<http://www.msdlouky.org/insidemsd/diverse/find.html>

4. Tab 4 - Experience and References

Provide the following about your team in Tab 4 of your RFP Response:

- a. Describe projects that best illustrate experiences that may be applicable to this project. The architect, MEP and structural engineers may EACH identify up to seven projects. In all cases, projects shall have been completed on or after June 1, 2012.
 1. Provide project name, location and a brief description of the work.
 2. Describe your firm's responsibility or role in the project.
 3. If a member of your team was responsible for/or actively involved in the project, identify them.
 4. Provide SF associated with your work in the building, final construction (not total budget) budget and completion date.
 5. Indicate whether a LEED rating system was utilized.
 6. Provide a contact person, email address and telephone number for each project.Provide no more than 2 pages per project.
- b. Architect, MEP and Structural firms are to provide five client references from similar projects, including name of project, address of project, date project completed, construction amount, and current contact person with email and telephone number.

5. Tab 5 - Work Load and Schedule

The objective is to begin construction work on phases one and two (Fine Arts and Nunn Hall projects) during the 2023 spring semester, to be well-positioned to take full advantage of Summer 2023. To give each Respondent team a fair and equal opportunity for consideration by the Selection Committee, please supply the following information in this section of your RFP Response:

- Respondent firm should summarize the manpower needed to execute design for phases one and two of this project only (Fine Arts and Nunn Hall projects), with the percentage of work assigned to the Architect, MEP and Structural firms.
- Provide a proposed schedule for design of phases one and two of the project.
- In an accompanying narrative format, outline the design team's strategy to allocate time and resources to meet this design schedule. Describe how your team's current work load allows for the level of commitment required to complete phases one and two
- design in the desired time frame; the provided schedule should reflect your team's intent and commitment.

6. Tab 6 – SF330 Parts II

Respondent shall be lawfully qualified to do business with and within the Commonwealth of Kentucky. A Federal Standard Form 330 Part II must be included in the Respondent's proposal for each member of the design team.

7. Tab 7 – Authentication of Bid, Statement of Non-Collusion, Non-Conflict of Interest, Bidder Certifications and Reciprocal Preference

- a. The Authentication of Bid, Statement of Non-Collusion, Non-Conflict of Interest and Bidder Certifications form must be signed and notarized in order for your proposal to be considered. This form is appended to this RFP.
- b. In accordance with KRS 45A.494, a resident Offeror of the commonwealth of Kentucky shall be given a preference against a nonresident Bidder. In evaluating bids, the University will apply a reciprocal preference against a Bidder submitting a bid from a state that grants residency preference equal to the preference given by the state of the nonresident Bidder. Residency and non-residency shall be defined in accordance with KRS 45A.494(2) and 45A.494(3), respectively. Any Bidder claiming Kentucky residency status shall submit with its bid a notarized affidavit affirming that it meets the criteria as set for in the above referenced statute.

E. RFP Response Evaluation Process and Contract Award

All proposals received will be reviewed by the University's Procurement Services office for completeness of items requested in this RFP. All complete proposal responses will be afforded equal consideration by the members of the Selection Committee. All complete proposals will be evaluated using a numerical rating system designed to afford each Selection Committee member a reasonable, individual, objective standard to equate the qualifications of the respondents.

The evaluation form is included with this RFP. Each Selection Committee member will review, consider, evaluate and assign a numerical score to each proposal. All proposals will be graded, and the scores will be ranked in order with the respondent having the highest score in first place, the second highest score in second place followed by the third highest score, etc. Each committee member shall then indicate in writing their choices for first, second and third place. Each named first choice firm will receive three points followed by each second choice firm receiving two points and each third choice firm receiving one point.

The committee shall then determine the firms receiving the three or four highest scores based on the points associated with the ranking of each member's first, second and third choices. These firms shall be notified of their selection and scheduled for interviews per the schedule outlined herein.

Please note that firms selected for interviews are advised to bring those individuals to the interview who will be the team members assigned to our project; we want to meet the people with whom we will be working. Following the interviews, those firms interviewed will be notified of the committee's determination of the firm best suited for this project. That firm will be asked to enter into negotiations with the university as outlined in KRS 164.590 to finalize a contract for A/E services. All respondents will be notified of the committee's determination of the firm best suited for this project.

1. Contact Persons

Interested firms shall have NO contact with any NKU staff member about any matter relating to this solicitation. Any breach of this provision will be grounds for disqualification of the team from the selection process. The respondent's point of contact for this proposal:

Ryan Straus
Procurement Services
Phone: (859) 572-6605
Email: strausr2@nku.edu

2. Pre-Contractual Expenses

Pre-contractual expenses are defined as expenses incurred by the respondent in:

1. Preparing its proposal in response to this RFP.
2. Submitting its qualifications to the University.
3. Negotiating with the University any matter related to this submittal.
4. Any other expenses incurred by a respondent prior to the date of award of a contract to the selected respondent.

The University shall not, in any event, be liable for any pre-contractual expenses incurred by the respondents in the preparation of their submittals.

3. Contract Award

Issuance of this RFP, receipt of proposals, and completion of the selection process does not commit the University to award a contract. The University reserves the right to postpone opening for its own convenience, to accept or reject any or all proposals received in response to their RFP; to negotiate with other than the selected respondent should negotiations with the selected firm be unsuccessful or terminated; to negotiate with more than one respondent simultaneously; to cancel all or part of the RFP; and, to waive technicalities.

4. Electronic Responses

Electronic responses are not permitted.

5. Personal Services Contract

This RFP is for consulting or other personal services. Kentucky law requires a Personal Services Contract to be signed by the vendor and filed with the Legislative Research Commission in Frankfort prior to any work beginning. KRS 45A.690 defines a Personal Service Contract as "an agreement whereby an individual, firm, partnership, or corporation is to perform certain services requiring professional skill or professional judgment for a specified period of time at a price agreed upon."

After Determination but prior to award, a Personal Services Contract will be sent to the winning offeror for signature. Please sign and return the original contract promptly to the University. A

Notice of Award will not be issued until the signed Personal Services Contract has been received by Procurement Services and filed with the Legislative Research Commission in Frankfort, KY.

Regarding Personal Service Contract Invoicing

House Bill 387 has now amended Kentucky Revised Statute 45A.695(10)(A) with the following language, “No payment shall be made on any personal service contract unless the individual, firm, partnership, or corporation awarded the personal service contract submits its invoice for payment on a form established by the committee”. The Personal Service Contract Invoice Form shall be used for this purpose and for your convenience we have added fields so that it can be filled in online and printed. This form can be located on Northern Kentucky University’s Procurement Services website at: http://procurement.nku.edu/departamental_forms/PSC_INVOICE_FORM.pdf

6. Foreign Corporations

- a. Foreign corporations are defined as corporations that are organized under laws other than the laws of the commonwealth of Kentucky. Foreign corporations doing business within the commonwealth of Kentucky are required to be registered with the Secretary of State, New Capitol Building, Frankfort, Kentucky and must be in good standing.
- b. The Foreign Corporate Proposer, if not registered with the Secretary of State at the time of the bid submittal, shall be required to become registered and be declared in good standing prior to the issuance or receipt of a contract.
- c. Domestic corporations. Domestic corporations are required to be in good standing with the requirements and provisions of the office of the Kentucky Secretary of State.

7. Occupational License

Northern Kentucky University was annexed by the city of Highland Heights in 2008. All contractors performing work for NKU must possess a Campbell County Occupational License and a city of Highland Heights Occupational License (administered by Campbell County) and must also pay applicable payroll taxes. For further information, call 859.292.3884 or log onto: <http://www.campbellcountyky.org/home/services/occupational-license.htm>.

F. Northern Kentucky University - Overview

Northern Kentucky University, located in the Greater Cincinnati metropolitan area about 7 miles south of downtown Cincinnati, was founded in 1968. The first building on the new campus in

Highland Heights opened in August 1972. The campus sits on rolling land near the intersection of I-275 and I-471. Due to topography, many locations on campus have attractive views, including views of the Cincinnati skyline.

NKU owns about 425 acres and has 3.4 million GSF. With enrollment of nearly 16,000 students, Northern is the second largest university in the Greater Cincinnati area. For general information about NKU, visit: <http://www.nku.edu/about.html>

The University's 2020 Campus Master Plan can be downloaded:
<https://inside.nku.edu/campusplanning/masterplan/2020-master-plan-.html>

PROJECT: Floor Heaving/MEP Renewal – Four Buildings / Score Sheet

FIRM NAME _____

EVALUATION CRITERIA	WEIGHT	RATING 1-5	Maximum TOTAL POINTS	POINTS AWARDED
<u>Team Qualifications</u>				
1. Architect	25		125	
2. MEP Engineering Disciplines	15		75	
3. Structural Engineering	10		50	
4. Geotechnical Engineering	4		20	
5. Civil Engineer	2		10	
6. Overall team qualifications and related experience, including project manager's qualifications	12		60	
Subtotal			340 (68%)	
<u>Responsiveness to RFP</u>				
1. Demonstrated understanding of project and university's goals for project	15		75	
2. Ability to meet project schedule	10		50	
3. Work to be performed in Kentucky	7		35	
Subtotal			160 (32%)	
TOTAL POINTS			500 (100%)	

EVALUATOR _____

**ARCHITECTURAL SELECTION COMMITTEE
SUPPLEMENTAL RANKING FORM**

**Floor Heaving/MEP Renewal – Four Buildings
Northern Kentucky University
Highland Heights, Kentucky
RFP NKU-32-2022**

RFP GRADING CRITERIA:

For the purpose of arriving at the best qualified firm for this Project, as set forth in the Selection process criteria for this project, each voting member of the Selection Committee shall rank their first, second and third choices based on the numerical scoring on the Grading Sheet. Based on the following formula, the firm with the highest number of points will be considered the Committee’s collective first choice, etc.

Reviewer’s

First Choice: 3 points
Second Choice: 2 points
Third Choice: 1 point

REVIEWER: _____

FIRST CHOICE: _____

SECOND CHOICE: _____

THIRD CHOICE: _____

Reviewer Signature: _____

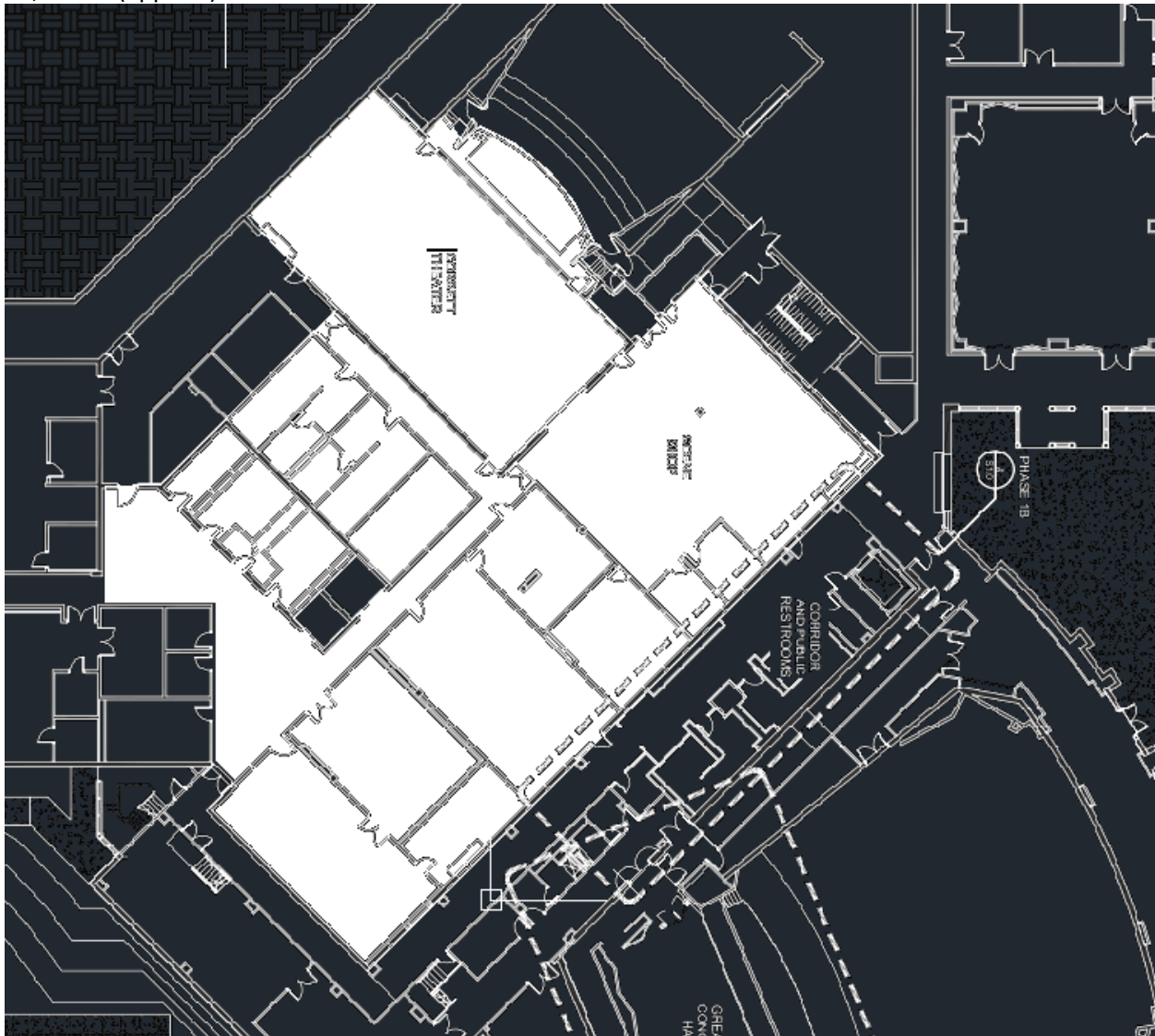
Date: _____

APPENDIX A

Floor Heaving Schematics

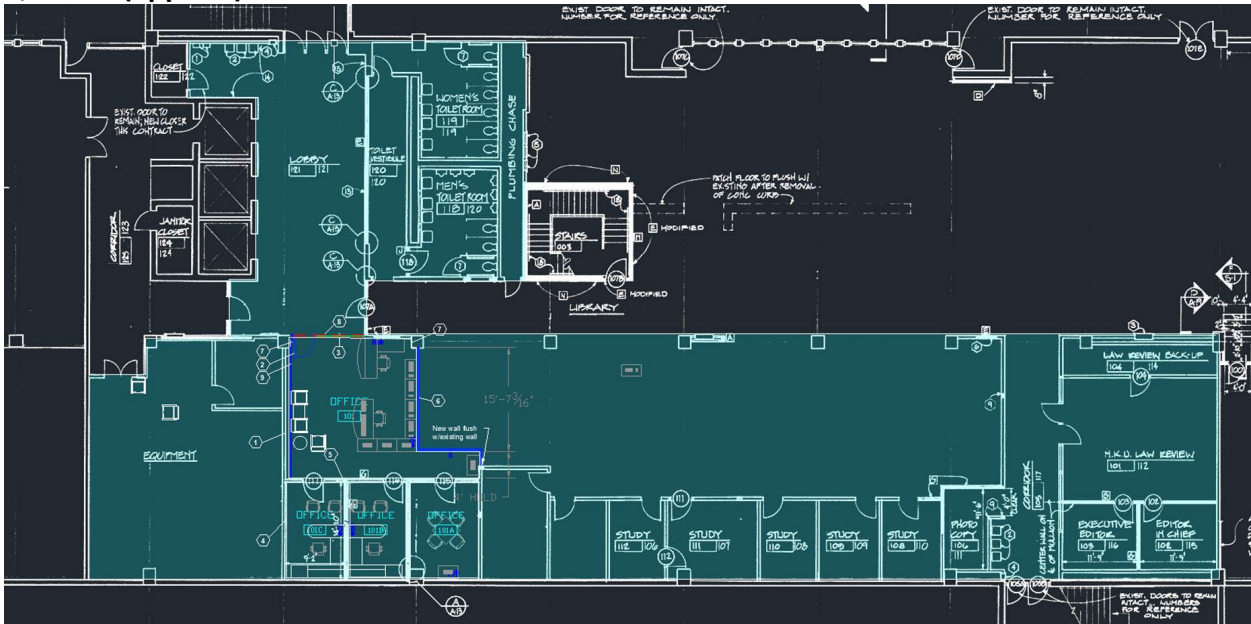
Fine Arts

16,000 SF (approx.)



NKU Floor Heaving/MEP Renewal – Four Buildings
Request for Proposal to Provide Professional Services
RFP NKU-32-2022

Nunn Hall
8,000 SF (approx.)



Landrum Academic Center
5,000 SF (approx.)



AUTHENTICATION OF BID, STATEMENT OF NON-COLLUSION, NON-CONFLICT OF INTEREST AND BIDDER CERTIFICATIONS

By signing below the Contractor swears or affirms, under the penalty of false swearing as provided by KRS 523.040, that he/she is in compliance with all of the following:

1. That I am the bidder (if the bidder is an individual), a partner in the bidder (if the bidder is a partnership), or an officer or employee of the bidding corporation having authority to sign on its behalf (if the bidder is a corporation).

2. That the submitted bid or bids covering the Bid Package indicated have been arrived at by the bidder independently and have been submitted without collusion with, and without any agreement, understanding or planned common course of action with any other contractor, vendor of materials, supplies, equipment or services described in the Invitation for Bid, designed to limit independent bidding or competition; as prohibited by provision KRS 45A.325;

2A. Any agreement or collusion among bidders or prospective bidders which restrains, tends to restrain, or is reasonably calculated to restrain competition by agreement to bid at a fixed price, or to refrain from bidding, or otherwise, is prohibited. The provisions of KRS 365.080 and 365.090, which permit the regulation of resale price by contract, do not apply to sales to the State.

2B. Any person who violates any provisions of Kentucky Revised Statute 45A.325 shall be guilty of a felony and shall be punished by a fine not less than five thousand dollars nor more than ten thousand dollars, or be imprisoned not less than one year nor more than five years, or both such fine and imprisonment. Any firm, corporation, or association which violates any of the provisions of KRS 45A.325 shall, upon conviction, be fined not less than ten thousand dollars nor more than twenty thousand dollars.

3. That the content of the bid or bids have not been communicated by the bidder or its employees or agents to any person not an employee or agent of the bidder or its surety on any bond furnished with the bid or bids and will not be communicated to any such person prior to the official opening of the bid or bids;

4. That the bidder is legally entitled to enter into the contracts with the Commonwealth of Kentucky and is not in violation of any prohibited conflict of interest, including those prohibited by the provisions of KRS 45A.330 to .340 and 164.390; and

5. That I have fully informed myself regarding the accuracy of the statements made, including Bid Amount.

6. Unless otherwise exempted by KRS 45.590, the Bidder intends to comply in full with all requirements of the Kentucky Civil Rights Act and to submit data required by the Kentucky Equal Employment Act upon being designated the successful bidder.

7. That the Bidder, if awarded a contract, would not be in violation of Executive Branch Code of Ethics established by KRS 11A.990.

8. Campaign Finance Laws Pursuant to KRS 45A.110 and KRS 45A.115 the undersigned hereby swears or affirms, under penalty prescribed by law for perjury, that neither he/she, individually, nor, to the best of his/her knowledge and belief, the corporation, partnership, or other business entity which he/she represents in connection with this procurement, has knowingly violated any provisions of the campaign finance laws of the Commonwealth of Kentucky, and that the award of a contract to him/her, individually, or the corporation, partnership or other business entity which he/she represents, will not violate any campaign finance laws of the Commonwealth.

9. Worker's Compensation and Unemployment Insurance Pursuant to KRS 45A.480, the undersigned hereby swears or affirms, under penalty of perjury, that all contractors and subcontractors employed, or that will be employed under the provisions of this contract shall be in compliance with the requirements for worker's compensation insurance under KRS Chapter 342 and unemployment insurance under established KRS Chapter 341.

NKU Floor Heaving/MEP Renewal – Four Buildings
 Request for Proposal to Provide Professional Services
 RFP NKU-32-2022

10. Vendor Report of Prior Violations The Bidder/Owner shall reveal to the University, prior to this award of a contract, any final determination of a violation by the Contractor within the previous five (5) year period of the provisions of KRS Chapters 136, 139, 141, 337, 338, 341, and 342. The Contractor is further notified this statute requires that for the duration of this contract, the Contractor shall be in continuous compliance and the Contractor's failure to reveal a final determination of a violation or failure to comply with the cited statutes for the duration of the contract, shall be grounds for the Contractor's disqualification by the University from eligibility to bid or submit proposals to the University for a period of two (2) years. Please list any final determination(s) of violation(s) including the date of determination and the state agency issuing the determination. If no violations have occurred, type **none** in the space below.

* KRS Chapter 136 - Corporation and Utility Taxes; * KRS Chapter 139 - Sales & Use Tax; * KRS Chapter 141 - Income Taxes; * KRS Chapter 337 - Wages & Hours; * KRS Chapter 338 - Occupational Safety & Health of Employees; * KRS Chapter 341 – Unemployment Compensation; * KRS Chapter 342 - Worker's Compensation

<u>KRS VIOLATION</u>	<u>DATE</u>	<u>STATE AGENCY</u>
_____	_____	_____
_____	_____	_____

READ CAREFULLY - SIGN IN SPACE BELOW - FAILURE TO SIGN INVALIDATES BID or OFFER

AUTHORIZED SIGNATURE: _____

DATE: _____

NAME (Please Print Legibly): _____

FIRM: _____

FED ID. OR SSN#: _____

PERMANENT ADDRESS:

STREET	CITY	STATE	ZIP
--------	------	-------	-----

CONTACT PERSON: _____

TITLE: _____

TELEPHONE NO: _____ FAX NO: _____

E-MAIL: _____

State of _____)

County of _____)

The foregoing statement was sworn to me this _____ day
 of _____, 20____, by _____.

 (Notary Public)

My Commission expires: _____

THIS DOCUMENT MUST BE NOTORIZED

OFFICIAL SIGNATURE PAGE

MUST be Submitted with RFP Response

Agent/Officer: _____

Signature: _____

Firm Name: _____

Address: _____

City/State/Zip Code: _____

Telephone Number: _____

Email Address: _____

FEIN or SSN: _____

E-Communications Contact Name: _____

E-Communications Email: _____

Type of Ownership: Individual __ Sole Proprietorship __ Partnership/Joint Venture __
Corporate __

List Name of Primary Individual Doing the Work:

- Architect _____
- Structural Engineer _____
- Mechanical Engineer _____
- Electrical Engineer _____
- Plumbing Engineer _____
- Civil Engineer _____
- Geotechnical Engineer _____

KENTUCKY PERMIT AND REGISTRATIONS

Provide the Kentucky Permit for any Firm providing Engineering Services as defined under KY Law

Firm Name	Discipline	Permit #	Permit Expire Date

Provide the Kentucky Registration # of each individual listed in your proposal that is providing Architectural and/or Engineering services as defined under Kentucky Law.

Firm Name	Individual	Discipline	Registration #	Registration Expire Date

STATEMENT OF COMPLIANCE

I certify, under penalty of perjury, that I have provided all pertinent information required by this form and this information is true and accurate. I also certify that I have completely read and understand this form and will comply with these requirements during the life of any contract awarded.

_____ Printed Name

_____ Date

_____ AUTHORIZED SIGNATURE

_____ Title

END OF RFP