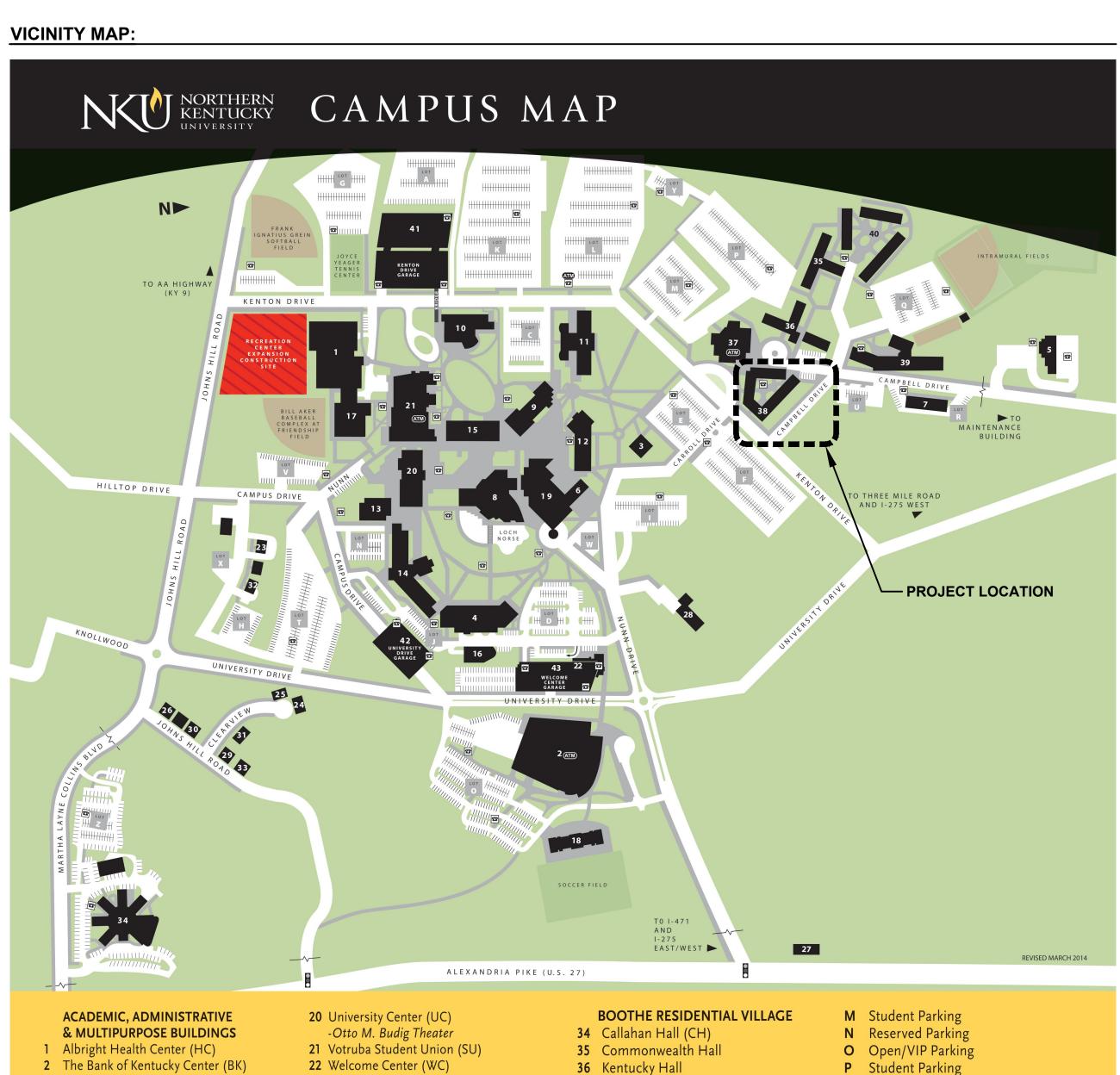
NORTHERN KENTIICKY UNIVERSITY

NORSE HALL FACADE REPAIRS AND RECLADDING NKU-29-2021



37 Norse Commons (NC)

40 Woodcrest Apartments

PARKING GARAGES

PARKING LOTS

C Faculty/Staff Parking

D Faculty/Staff Parking

E Faculty/Staff Parking

H University Police Parking

J Faculty/Staff Parking

A Open Parking

F Student Parking

I Student Parking

K Open Parking

L Open Parking

G Open Parking

41 Kenton Drive Parking Garage*

42 University Drive Parking Garage*

43 Welcome Center Parking Garage*

Q Student Parking

S Open Parking

T Open Parking

U Student Parking

W Student Parking

X Open Parking

Z Open Parking***

MC01220

REQUIRED

V Faculty/Staff Parking

* VISITOR PAY-TO-PARK, NO PERMIT

** CERAMICS PERMIT REQUIRED

*** EITHER CALLAHAN PERMIT OR

ENDORSEMENT REQUIRED

REGULAR PERMIT WITH CALLAHAN

R Student Parking*

3 Baptist Student Union (BSU)

7 Ceramics & Sculpture (CS)

5 Campbell Hall (CA)

8 Fine Arts Center (FA)

9 Founders Hall (FH)

Center (MP)

15 Nunn Hall (NH)

17 Regents Hall (RH)

19 Steely Library (SL)

-Schlachter Archive

18 Soccer Stadium

16 Power Plant

-Rieveschl Digitorium

12 Landrum Academic Center (LA)

13 Lucas Administrative Center (AC)

14 Mathematics-Education-Psychology

-Eva G. Farris Auditorium (MP 200)

-Salmon P. Chase College of Law

-Eva G. Farris Special Collections

6 Central Receiving

4 Business Academic Center (BC)

-Haile/US Bank College of Business

-Corbett Theatre -Greaves Concert Hall

-Main Art Gallery -Stauss Theatre

10 Griffin Hall (College of Informatics)

11 Herrmann Natural Science Center (SC)

-Parking Services

24 Catholic Newman Center

25 Center for Applied Ecology

26 Christian Student Fellowship

27 Economic Initiatives Center

29 N. Ky. Traineeship Program for

Special Ed. (245 Johns Hill Rd.)

31 Talent Search (10 Clearview Dr.)

30 Small Business Development Center

32 University Police (415 Johns Hill Rd.)

33 Upward Bound (241 Johns Hill Rd.)

(311 Johns Hill Rd.)

(305 Johns Hill Rd.)

(19 Clearview Dr.)

(15 Clearview Dr.)

28 Honors House (HR)

23 Alumni Programs (421 Johns Hill Rd.)

-Center for Economic Analysis and Dev.

HOUSES

DRAWING INDEX:

- 001 TITLE SHEET
- 101 GROUND FLOOR KEY PLAN 102 SECOND & THIRD FLOOR KEY PLAN
- 201 BUILDING 4 ELEVATIONS
- 202 BUILDING 5 ELEVATIONS 203 BUILDING 6 ELEVATIONS
- 204 BUILDING 7 ELEVATIONS
- 205 BREEZEWAYS 1, 2, & 3 SECTIONS 206 BREEZEWAY 4 SECTIONS
- 207 BREEZEWAYS 5 & 6 SECTIONS
- 301 REPAIR DETAILS
- **401 RECLADDING DETAILS**

GENERAL NOTES

A. CODE SUMMARY

- ALL WORK SHALL CONFORM TO THE CURRENT COMMONWEALTH OF KENTUCKY BUILDING CODE AND ALI LOCAL REQUIREMENTS ADOPTED BY THE CITY OF HIGHLAND HEIGHTS.
- a. OCCUPANCY: R-2. APARTMENT BUILDING
- BUILDING IS FULLY SPRINKLERED WITH FIRE ALARM PULL STATIONS IN THE BREEZEWAYS. BUILDING AREA: 69,721 GSF; 49,302 ASF; DIVIDED INTO THREE SECTIONS W/ 2 FIREWALLS
- e. HEIGHT: 3-STORIES, TOTAL HEIGHT OF 35'-0"
- (78) 2-BEDROOM UNITS AT 800 SF; (12) EFFICIENCY UNITS AT 300 SF g. EGRESS:
- 12 POINTS OF EGRESS, ARRANGED IN PAIRS TO PROVIDE 2 MEANS OF EGRESS FOR EACH UNIT. MAXIMUM OCCUPANT LOAD PER FLOOR PER PAIR OF EGRESS = 24 AT 200 SF PER PERSON. STAIR WIDTH: 44", TYPICAL.
- h. PROJECT SCOPE: REPAIR AND REPLACE DETERIORATED BUILDING ELEMENTS. NO AREA IS ADDED TO THE BUILDING. NO CHANGES ARE MADE TO THE CONFIGURATION OF BUILDING EGRESS COMPONENTS.
- DESIGN WIND SPEED: Vult = 120 MPH; Vasd = 93 MPH RISK CATEGORY: III
- WIND EXPOSURE: B
- EXTERIOR WALL WIND LOADS: ULTIMATE STRENGTH DESIGN, FACTORED LOADS PSF (ult):
- EFFECTIVE WIND AREA:
- WALL, WITHIN 5.3 FT OF CORNERS 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL APPLICABLE CITY, COUNTY, STATE,
- AND FEDERAL LAWS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND REGULATIONS ADOPTED PURSUANT THERETO.

B. DOCUMENTS

- A SEPARATE BOUND PROJECT MANUAL DATED MARCH 2021 EXISTS AND IS PART OF THE CONTRACT DOCUMENTS. GENERAL CONDITIONS, TECHNICAL INFORMATION, AND REQUIREMENTS ARE INCLUDED IN THE PROJECT MANUAL. CLEARLY ORGANIZED AND DESCRIBED IN SECTION CONSISTENT WITH NORMALLY ACCEPTED CONSTRUCTION SPECIFICATION INSTITUTE FORMATS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIREMENTS LISTED IN THE PROJECT MANUAL, BUT NOT NECESSARILY INCLUDED IN THE DRAWINGS.
- 2. ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE, UNLESS NOTED OTHERWISE.
- 3. ALL DIMENSIONS SHOWN ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED.
- 4. CONTRACTOR SHALL PROMPTLY REPORT ANY VARIATIONS BETWEEN EXISTING AS BUILT CONDITIONS AND DIMENSIONS, AND THOSE INDICATED ON THE DRAWINGS, TO THE ARCHITECT/ENGINEER.
- 5. THE EXTENT, LOCATION, AND QUANTITY OF REPAIRS MAY VARY FROM THE WORK PROVIDED IN THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH THE ARCHITECT/ENGINEER FOR THE ACTUAL LOCATION AND EXTENT OF REPAIRS THROUGHOUT CONSTRUCTION.

C. COORDINATION AND CONSTRUCTION

- 1. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, RIGGING, PLATFORMS, AND EQUIPMENT FOR SUCCESSFUL COMPLETION OF THIS PROJECT.
- 2. CONTRACTOR SHALL APPLY, SECURE, AND PAY FOR ALL REQUIRED LOCAL PERMITS, FEES, LICENSES, AND APPROVAL FOR COMPLETION OF THE WORK.
- 3. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AT THE SITE PRIOR TO SUBMITTING SHOP DRAWINGS AND FABRICATING ANY WORK. IMMEDIATELY REPORT ANY DISCREPANCIES TO
- 4. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
- 5. NEW CONSTRUCTION WORK SHALL ALIGN WITH AND MATCH EXISTING CONSTRUCTION WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.
- ANY ADJACENT, EXISTING FINISHES, AND/OR EQUIPMENT DAMAGED DURING DEMOLITION OR CONSTRUCTION
- WORK SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE. 7. CONTRACTOR WILL COORDINATE ALL CONSTRUCTION ACTIVITIES, SCHEDULE, AND PHASING WITH THE
- OWNER AND THE ARCHITECT/ENGINEER.
- 8. CONTRACTOR SHALL FURNISH THE OWNER AND ARCHITECT/ENGINEER ACCESS TO ALL WORK AREAS DURING NORMAL WORKING HOURS AND WHEN WORK IS BEING PERFORMED.
- 9. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF SITE IN A LAWFUL MANNER.

D. WORK AREA RESTRICTIONS

QUICKLY INSTALLED.

- 1. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 2. CONSTRUCTION ACTIVITIES WILL NEED TO BE COORDINATED WITH THE OWNER.
- 3. CONSTRUCTION FENCING (CHAIN LINK FENCE WITH WIND SCREEN) IS REQUIRED AROUND EXTERIOR WORK AREAS AND LAYDOWN AREAS.
- 4. CONTRACTOR SHALL PROVIDE ALL SIGNAGE REQUIRED TO CLEARLY ESTABLISH THE WORK AREAS AS RESTRICTED AND OFF LIMITS TO THE PUBLIC. ALL SIGNS SHALL BE PROFESSIONALLY PREPARED AND REVIEWED IN ADVANCE BY THE OWNER. ALL SIGNAGE SHALL BE NON-GENDER SPECIFIC.
- 5. CONTRACTOR SHALL PROVIDE ALL SIGNAGE AND ADDITIONAL TRAFFIC CONTROL METHODS TO SAFELY REROUTE PEDESTRIAN TRAFFIC AROUND WORK AREAS.
- 6. CONTRACTOR SHALL PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY THE WORK REMAINS WITHIN THE WORK AREA AND DOES NOT POSE HAZARDOUS OR
- 7. CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER PROTECTION TO PREVENT WATER ENTRY INTO THE BUILDING AND TO MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION. ENSURE THAT PROTECTION IS IN PLACE AND WATER TIGHT BEFORE THE END OF EACH DAY'S WORK. DURING THE WORK, THE CONTRACTOR SHALL BE PREPARED FOR UNEXPECTED WEATHER CHANGES, SO THAT TEMPORARY PROTECTION CAN BE
- 8. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY SITE AND STORAGE AREA.

OBJECTIONABLE CONDITIONS FOR THE GENERAL PUBLIC.

E. EXISTING CONDITIONS PROTECTION REQUIREMENTS

- "SITE" IS DEFINED AS THE CURRENT REPAIR AREAS (FACADE ELEVATION) IN WHICH WORK IS OCCURRING PLUS STAGING AREAS AND ALL ADJACENT BUILDING AND LANDSCAPE FEATURES WHICH COULD BE AFFECTED BY THE WORK.
- a. REPAIR AREAS ARE INDICATED ON THE DRAWINGS.
- b. ITEMS THAT COULD AFFECT ADJACENT BUILDING AND LANDSCAPE FEATURES SHALL INCLUDE, BUT NOT LIMITED TO, RIGGING OR EQUIPMENT ACCESS, FALLING DEBRIS, BLOWING DEBRIS, AND FUMES.
- c. EXAMPLES OF ADJACENT BUILDING AND LANDSCAPE FEATURES SHALL INCLUDE, BUT NOT LIMITED TO, ADJACENT FACADE ELEVATIONS, ALL AREAS BELOW THE WORK EITHER ROOF OR GRADE, AND STAGING
- 2. CONTRACTOR IS RESPONSIBLE FOR THE SITE ONCE MOBILIZATION HAS BEGUN THROUGH THE COMPLETION OF WORK. EXAMPLES OF MOBILIZATION SHALL INCLUDE, BUT NOT LIMITED TO, ERECTION OF TEMPORARY PROTECTION, ERECTION OF RIGGING, AND STAGING MATERIALS. WORK IS COMPLETE AFTER ALL REPAIRS ARE COMPLETE, WORK AREA IS CLEANED TO ORIGINAL CONDITION, AND OWNER IS NOTIFIED. DAMAGE CAUSED BY WORK OR LACK OF PROPER PROTECTION IS TO BE REPAIRED PER OWNERS DIRECTION AT
- 3. PROVIDE TEMPORARY PROTECTION OF SITE DURING THE COURSE OF ALL PHASES OF WORK.
- PRIOR TO THE START OF WORK, COMPLETE ALL PRE-CONSTRUCTION SURVEYS AND DOCUMENTATION OF SITE. COORDINATE WITH OWNER SPECIFIC SITE REQUIREMENTS PRIOR TO THE START OF WORK. REFER TO ADDITIONAL REQUIREMENTS BELOW FOR SPECIFIC BUILDING ELEMENTS.
- a. PRIOR TO THE START OF WORK, COORDINATE WITH OWNER ALL SPECIFIC SITE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, PROTECTION, SCHEDULING, AND PHASING.
- b. PRIOR TO THE START OF WORK, COMPLETE A SURVEY OF THE SITE (VIDEO OR DIGITAL PHOTOS). REPORT TO OWNER DAMAGED BUILDING ELEMENTS NOT BEING REPAIRED.
- c. MOBILIZATION IS CONSIDERED ACCEPTANCE OF THE SITE REGARDLESS OF FAILURE TO SUBMIT DOCUMENTATION OF EXISTING CONDITION.
- d. PRIOR TO THE START OF WORK, SURVEY ALL OPENINGS AND DOCUMENT DAMAGED ITEMS. EXAMPLES OF DAMAGED GLAZING SHALL INCLUDE, BUT IS NOT LIMITED TO, CRACKED OR FOGGED
- EXAMPLES OF DAMAGED FRAMES SHALL INCLUDE, BUT IS NOT LIMITED TO, DENTED OR SCRATCHED
- EXAMPLES OF DAMAGED HARDWARE SHALL INCLUDE, BUT IS NOT LIMITED TO, NON-OPERATING OF
- EXAMPLES OF DAMAGED SEALANTS SHALL INCLUDE, BUT IS NOT LIMITED TO, RIPPED OR TORN
- e. PROTECT OPENINGS DURING ALL PHASES OF WORK.
- f. DAMAGE NOT EVIDENT IN DOCUMENTATION OR DAMAGE DURING THE COURSE OF WORK TO BE REPAIRED PER OWNER'S DIRECTION AT CONTRACTORS EXPENSE.
- g. DURING PERFORMANCE OF WORK, COORDINATE WITH THE OWNER TO SHUTDOWN AIR-INTAKE EQUIPMENT IN THE AREA WHERE WORK IS BEING PERFORMED TO PREVENT DUST AND DEBRIS FROM
- ENTERING AIR-HANDLING EQUIPMENT AND/OR INTO THE BUILDING INTERIOR.

- PROJECT SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE PATRONS, STAFF, GENERAL PUBLIC, WORKMEN, AND STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BARRICADES, OVERHEAD PROTECTION, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, SCAFFOLDING, PLANKING, SAFETY NETS, SUPPORT, AND BRACING FOR CRANES.
- 2. CONTRACTOR, AT HIS OWN EXPENSE, SHALL ENGAGE PROPERLY QUALIFIED PERSONS TO DETERMINE WHERE AND HOW TEMPORARY PRECAUTIONARY MEASURES SHALL BE USED AND INSPECT THE SAME IN THE FIELD. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVE OF ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- 3. THE DUTY OF THE ARCHITECT/ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.

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G. Donahue PROJECT MANAGER: D. Morehead

ENGINEER OF RECORD:

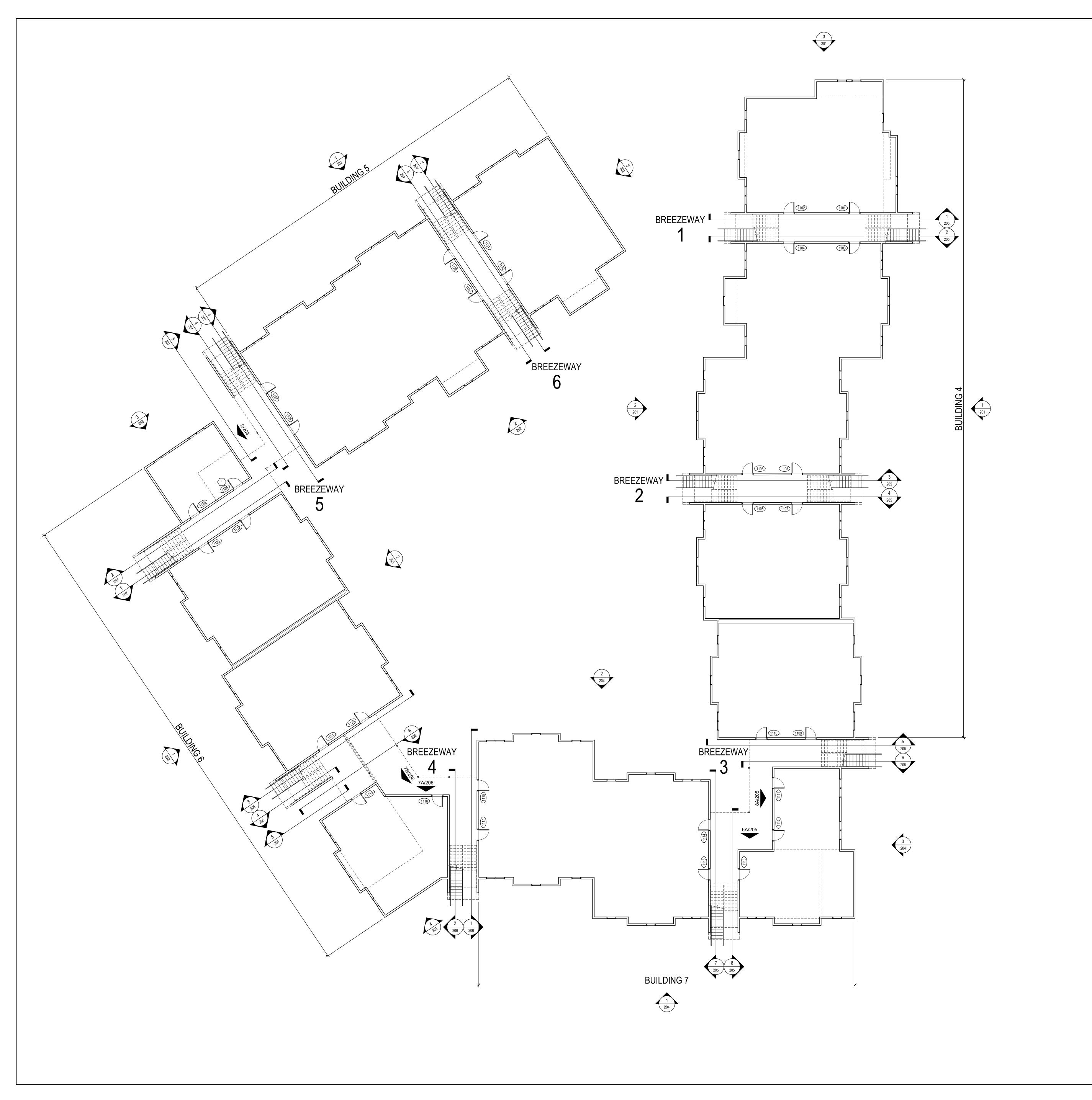
Northern

Norse Hall **Facade Repairs** and Recladding NKU-29-2021

DRAWING TITLE:

TITLE SHEET

20406.00 02/23/2021 DRAWING NUMBER:





NOTE:
BOLD LINES INDICATE EXTERIOR WALLS WHERE EXISTING EIFS IS TO BE REMOVED AND REPLACED WITH NEW EXTERIOR CLADDING SYSTEM

NORSE HALL RECLADDING
SCOPE DIAGRAM
NO SCALE

LEGEND:

NEW METAL DOOR AND FRAME DESIGNATION (UNIT NUMBER).
DOOR OPENINGS ARE 3'-0" X 6'-8" (±VIF), TYP.

DRAWING NOTES:

- A. REFER TO SHEET 001 FOR GENERAL NOTES.
- B. ALL DIMENSIONS INDICATED ON DRAWINGS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- C. PROVIDE PROFESSIONAL SIGNAGE AND BARRICADES TO CLOSE AND PROTECT WORK AREAS TO
- PEDESTRIAN TRAFFIC. SIGNAGE SHALL INCLUDE DIRECTIONS TO ROUTE TRAFFIC AROUND WORK AREA.
- D. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREA, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS FOR PATRONS AND GENERAL PUBLIC.
- E. CONTRACTOR TO NOTIFY OWNER IF HAZARDOUS MATERIALS ARE ENCOUNTERED. REMOVAL OF ALL HAZARDOUS ITEMS MUST BE COORDINATED WITH OWNER.
- F. CONTRACTOR TO CLEAN UP ENTIRE WORK AREA AT THE COMPLETION OF THE PROJECT.

KEY NOTES:

1. NEW DOOR TO MATCH EXISTING HALF GLASS LITE DOOR (ONE LOCATION AT DIRECTOR'S OFFICE).



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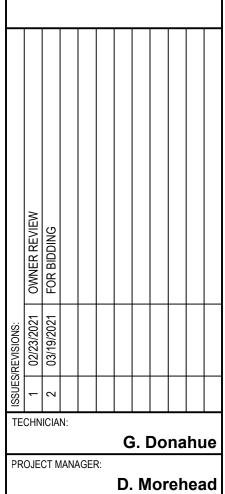
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ENGINEER OF RECORD:

W. Judd

Northern Kentucky University

> Norse Hall Facade Repairs and Recladding NKU-29-2021

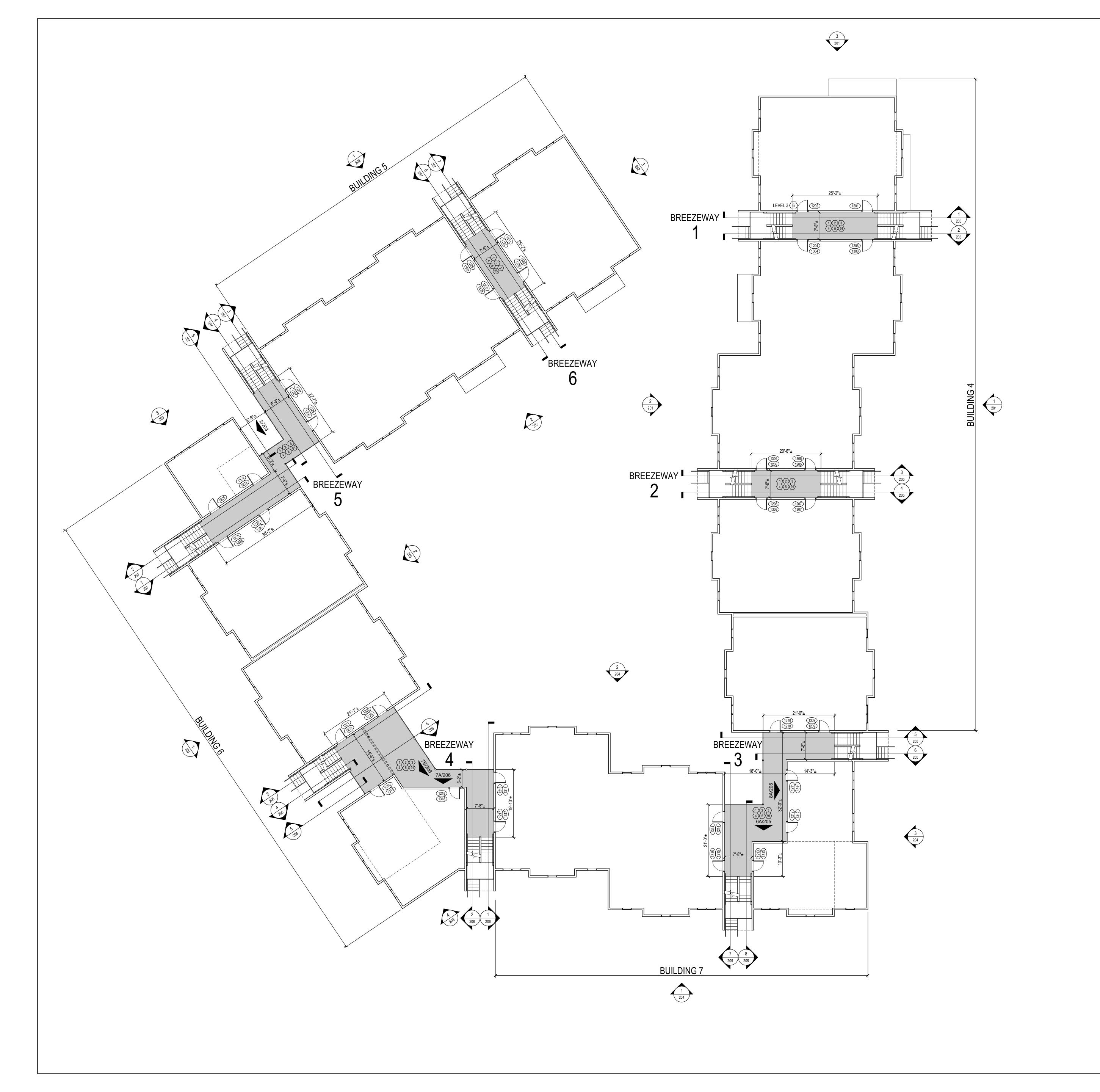
DRAWING TITLE:

GROUND FLOOR

KEY PLAN

NORTH

JOB NUMBER: DATE:
20406.00 02/23/2021
DRAWING NUMBER:





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NEW METAL DOOR AND FRAME DESIGNATION (UNIT NUMBER) DOOR OPENINGS ARE 3'-0" X 6'-8" (±VIF), TYP.

AREA OF NEW PEDESTRIAN TRAFFIC MEMBRANE SYSTEM

DRAWING NOTES:

- A. REFER TO SHEET 001 FOR GENERAL NOTES.
- B. ALL DIMENSIONS INDICATED ON DRAWINGS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- C. PROVIDE PROFESSIONAL SIGNAGE AND BARRICADES TO CLOSE AND PROTECT WORK AREAS TO PEDESTRIAN TRAFFIC. SIGNAGE SHALL INCLUDE DIRECTIONS TO ROUTE TRAFFIC AROUND WORK AREA.
- D. PROVIDE DUST AND DEBRIS CONTROL MEASURES TO ENSURE ALL DUST AND DEBRIS GENERATED BY WORK REMAINS WITHIN WORK AREA, DOES NOT BECOME AIRBORNE, AND DOES NOT POSE HAZARDOUS OR OBJECTIONABLE CONDITIONS FOR PATRONS AND GENERAL PUBLIC.

E. CONTRACTOR TO NOTIFY OWNER IF HAZARDOUS MATERIALS ARE ENCOUNTERED. REMOVAL OF ALL

HAZARDOUS ITEMS MUST BE COORDINATED WITH OWNER.

F. CONTRACTOR TO CLEAN UP ENTIRE WORK AREA AT THE COMPLETION OF THE PROJECT.

KEY NOTES:

- EXISTING STRUCTURED LEVEL BREEZEWAY OR BALCONY. DO NOT DAMAGE EXISTING SOFFIT SYSTEM
 TO REMAIN BENEATH ELEVATED STRUCTURE.
- 2. EXISTING STRUCTURED FLOOR SLAB. INSTALL A NEW PEDESTRIAN TRAFFIC MEMBRANE SYSTEM WITH VAPOR BARRIER. REFER TO DETAILS 8-10/301 AND SPECIFICATION SECTION 071800.
- 3. AS PART OF MEMBRANE WORK CONTRACTOR TO SURVEY MEMBRANE AREA AND ROUT AND SEAL
- CRACKS. REFER TO DETAIL 9/301 AND SPECIFICATION SECTION 079200.
- VERTICAL SURFACES. REFER TO DETAIL 10/301.

4. SLAB PEDESTRIAN TRAFFIC MEMBRANE SYSTEM TO TERMINATE 1 1/2" ABOVE THE COVE SEALANT AT

- 5. AT EXISTING CHANNELS AT THE SLAB EDGE, INSTALL COVE SEALANT (IF NOT PRESENT) BETWEEN CHANNEL AND CONCRETE. PEDESTRIAN TRAFFIC MEMBRANE SYSTEM TO TERMINATE ON COVE INSTALLED ON EXTERIOR CHANNEL. REFER TO DETAIL 7/301 AND SPECIFICATION SECTION 079200.
- 6. EXISTING DATA ROOM DOOR, FRAME, AND HARDWARE TO REMAIN.
- 91. ALTERNATE 1: AT BREEZEWAY LEVEL 3 CEILINGS, REMOVE AND SPOT PRIME ALL AREAS OF LOOSE OR PEELING PAINT AND RECOAT ENTIRE CEILING, INCLUDING GYPSUM BOARD, WOOD BEAMS, AND WOOD TRIM. REFER TO SPECIFICATION SECTION 099100.





PROJECT MANAGER:

ENGINEER OF RECORD:

G. Donahue

D. Morehead

SECOND & THIRD
FLOOR KEY PLAN

and Recladding

NKU-29-2021

JOB NUMBER: DATE:
20406.00 02/23/2021
DRAWING NUMBER:

NORTH



- A. REFER TO SHEET 001 FOR GENERAL NOTES.
- B. ALL DIMENSIONS INDICATED ON DRAWINGS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- C. RETURN WALLS AT BUILDING OFFSETS MAY NOT BE SHOWN IN ELEVATIONS AT ALL LOCATIONS, ELEVATIONS, OR IN THEIR ENTIRETY. REFER TO SHEETS 101 & 102 FOR KEY PLAN TO CONFIRM DEPTH OF RETURNS. ALL
- D. DRAWINGS DO NOT REFLECT ALL EQUIPMENT, VALVES, FIRE ALARM PULLS, WALL PLATES, JUNCTION BOXES, SIGNAGE, DEVICES, FIXTURES, ETC. PRESENT AT EXTERIOR WALLS.

RETURN WALLS AND GABLE END WALLS SHALL BE INCLUDED IN SCOPE OF THIS WORK.

E. ALL NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR LOCATIONS ELSEWHERE.

KEY NOTES:

1. KNOWN LOCATION OF EIFS LAMINA REPAIR AT AREAS OF EXPOSED BASE COAT OR EXPOSED REINFORCING MESH. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012200 AND 072400 AND DETAIL 1/301.

- 2. KNOWN LOCATION OF EIFS CRACK REPAIR. RE-ANCHOR INSULATION BOARD PER DETAIL 2/301 AND REPAIR LAMINA PER DETAIL 1/301. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012200 AND 072400.
- 3. KNOWN LOCATION OF FULL-DEPTH EIFS PATCH REPAIR. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012200 AND 072400 AND DETAILS 3/301 AND 4/301.
- 4. EXISTING EXTERIOR INSULATION AND FINISH SYSTEM TO REMAIN. AFTER COMPLETION OF EIFS REPAIRS,

CLEAN, PREPARE, AND RECOAT EIFS SURFACE. REFER TO SPECIFICATION SECTIONS 072400 AND 099101.

- 5. AT ISOLATED LOCATIONS WITHIN EIFS WHERE CONTROL JOINT SEALANT HAS DISBONDED, REMOVE AND REPLACE BACKER ROD AND SEALANT. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012100 AND 079201 AND DETAIL 5/301.
- 6. REMOVE AND REINSTALL ALL EXISTING DOWNSPOUTS AS REQUIRED FOR EIFS REPAIRS, CLEANING, AND RE-COATING.
- 7. EXISTING ELECTRICAL, PHONE, OR CABLE PANEL TO REMAIN. PROVIDE NEW FIBER CEMENT TRIM. REFER TO SIMILAR DETAILS 4/401 & 5/401 AND SPECIFICATION SECTION 074646.

8. EXISTING STAIR AND/OR RAILING TO REMAIN. PROTECT DURING PERFORMANCE OF WORK.

- 9. AT BREEZEWAY EXTERIOR WALLS, REMOVE EXISTING EIFS AND INSPECT CONDITION OF EXISTING SHEATHING TO REMAIN. DETERIORATED AREAS OF SHEATHING ARE TO BE REPLACED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTION 012100. INSTALL NEW EXTERIOR WALL CLADDING SYSTEM, INCLUDING LIQUID-APPLIED AIR BARRIER, RIGID INSULATION, FURRING STRIPS, AND PREFINISHED FIBER CEMENT SIDING AND TRIM (INCLUDING REQUIRED FLASHINGS). REFER TO SPECIFICATION SECTIONS 072726 AND 074646 AND
- 10. DETACH RAILING AS REQUIRED TO ALLOW INSTALLATION OF NEW SIDING. PROVIDE BLOCKING AND TRIM AT RAILING ATTACHMENT POINTS SIMILAR TO DETAIL 14/401.
- 11. REMOVE AND REPLACE EXISTING METAL DOOR AND FRAME. REFER TO SPECIFICATION SECTION 081100. PREPARE AND PAINT NEW DOOR AND FRAME PER SPECIFICATION SECTION 099101.
- 91. ALTERNATE 1: AT BREEZEWAY LEVEL 3 CEILINGS, REMOVE AND SPOT PRIME ALL AREAS OF LOOSE OR PEELING PAINT AND RECOAT ENTIRE CEILING, INCLUDING GYPSUM BOARD, WOOD BEAMS, AND WOOD TRIM. REFER TO SPECIFICATION SECTION 099100.
- 92. ALTERNATE 2: EXISTING ALUMINUM WINDOWS TO REMAIN. CLEAN, PREPARE, AND PAINT FRAMES. REFER TO SPECIFICATION SECTION 099101.

(X) KEY NOTE UNIT COST QUANTITY ESTIMATE OR NOTE DESCRIPTOR

EXISTING ASPHALT SHINGLES TO REMAIN - NO WORK

EXISTING STANDING SEAM METAL ROOF TO REMAIN - NO WORK

EIFS TO REMAIN 4

DETAILS ON DRAWING 401.

EIFS V-REVEAL

—-—- EIFS CONTROL JOINT (5) DOWNSPOUT 6

FIBER CEMENT SIDING 9

METAL DOOR AND FRAME DESIGNATION 11

ALUMINUM DOUBLE-HUNG WINDOW (92)

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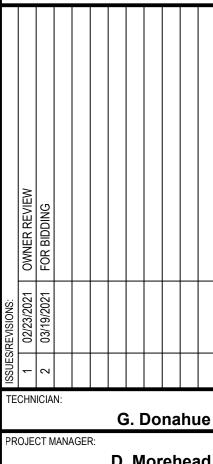
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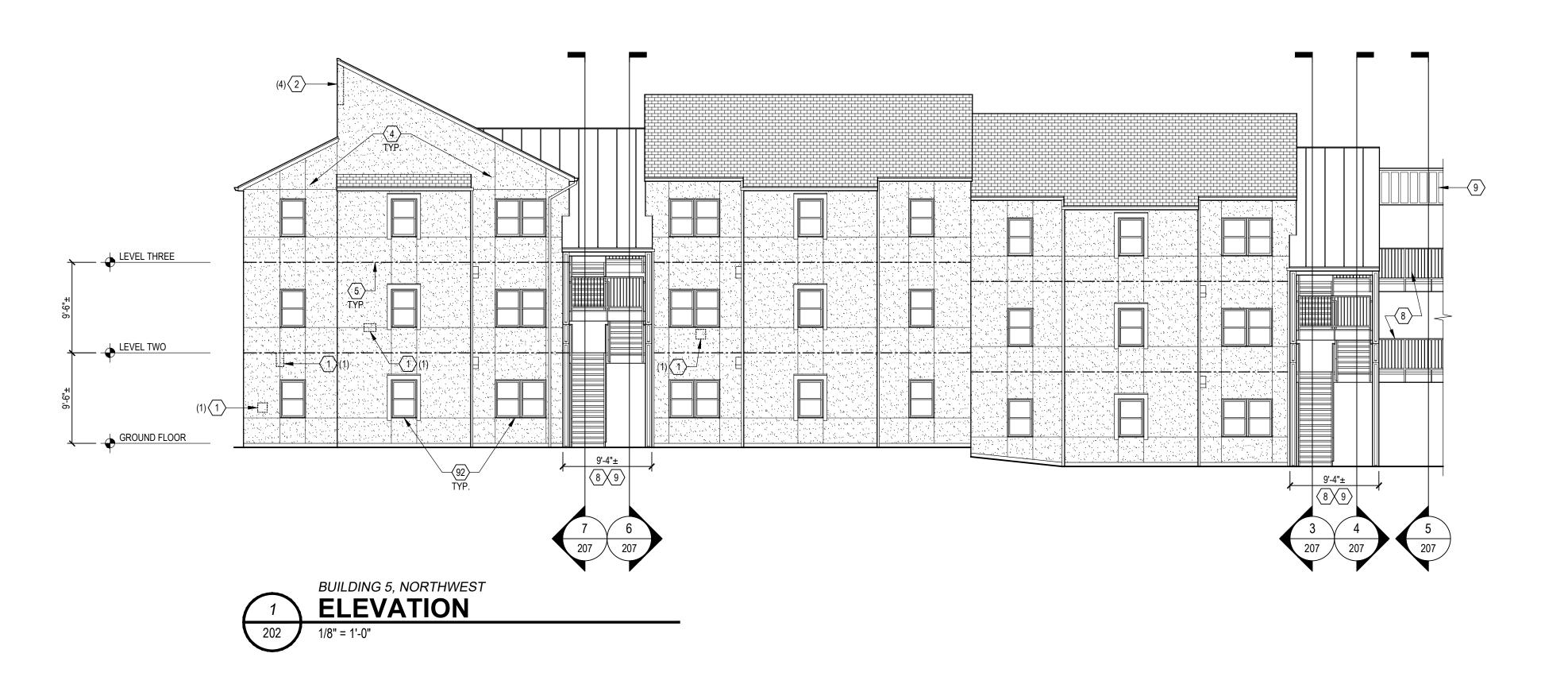
D. Morehead

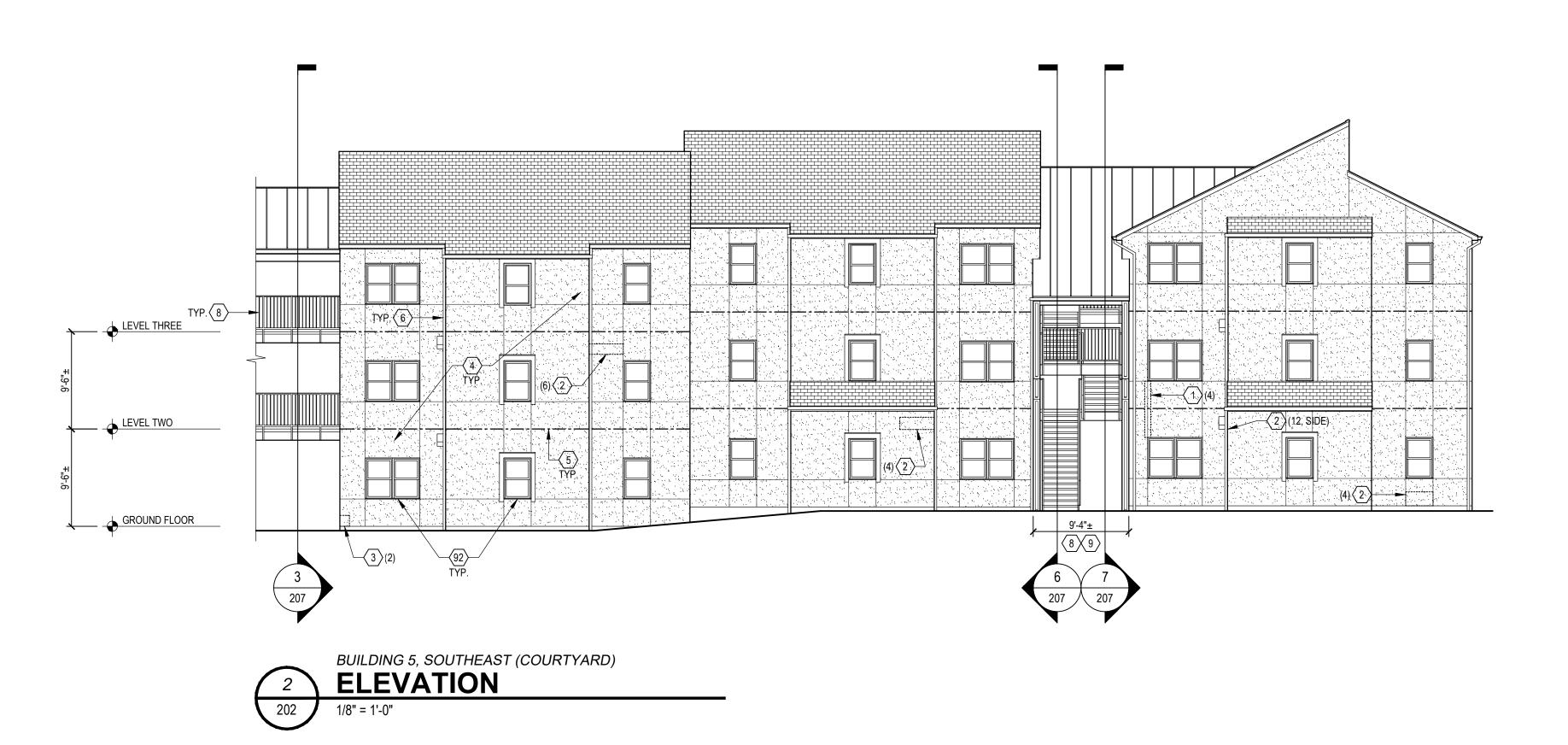
Northern Kentucky University

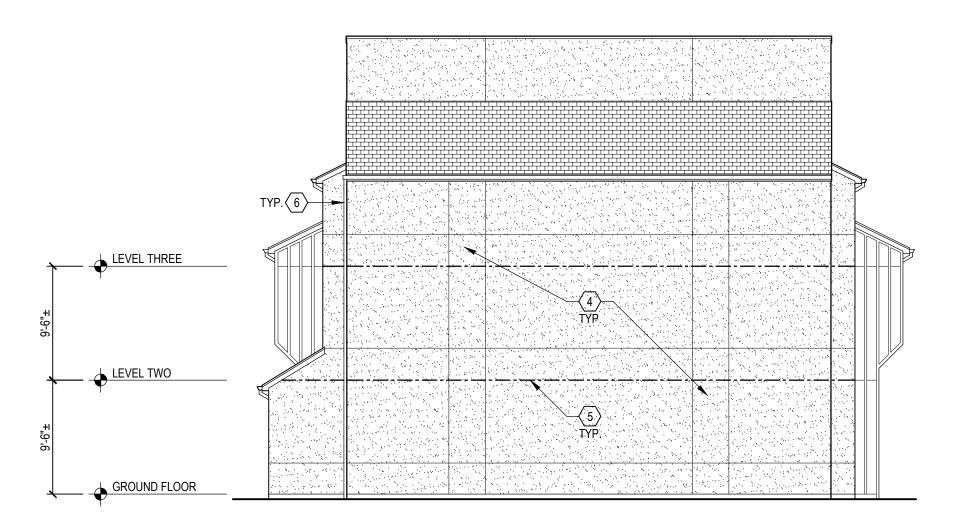
Norse Hall Facade Repairs and Recladding NKU-29-2021

BUILDING 4 ELEVATIONS

02/23/2021









- A. REFER TO SHEET 001 FOR GENERAL NOTES.
- B. ALL DIMENSIONS INDICATED ON DRAWINGS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- C. RETURN WALLS AT BUILDING OFFSETS MAY NOT BE SHOWN IN ELEVATIONS AT ALL LOCATIONS, ELEVATIONS, OR IN THEIR ENTIRETY. REFER TO SHEETS 101 & 102 FOR KEY PLAN TO CONFIRM DEPTH OF RETURNS. ALL RETURN WALLS AND GABLE END WALLS SHALL BE INCLUDED IN SCOPE OF THIS WORK.
- D. DRAWINGS DO NOT REFLECT ALL EQUIPMENT, VALVES, FIRE ALARM PULLS, WALL PLATES, JUNCTION BOXES, SIGNAGE, DEVICES, FIXTURES, ETC. PRESENT AT EXTERIOR WALLS.
- E. ALL NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR LOCATIONS ELSEWHERE.

KEY NOTES:

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- 4. EXISTING EXTERIOR INSULATION AND FINISH SYSTEM TO REMAIN. AFTER COMPLETION OF EIFS REPAIRS, CLEAN, PREPARE, AND RECOAT EIFS SURFACE. REFER TO SPECIFICATION SECTIONS 072400 AND 099101.
- 5. AT ISOLATED LOCATIONS WITHIN EIFS WHERE CONTROL JOINT SEALANT HAS DISBONDED, REMOVE AND REPLACE BACKER ROD AND SEALANT. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012100 AND 079201 AND DETAIL 5/301.
- 6. REMOVE AND REINSTALL ALL EXISTING DOWNSPOUTS AS REQUIRED FOR EIFS REPAIRS, CLEANING, AND RE-COATING.
- 7. EXISTING ELECTRICAL, PHONE, OR CABLE PANEL TO REMAIN. PROVIDE NEW FIBER CEMENT TRIM. REFER TO SIMILAR DETAILS 4/401 & 5/401 AND SPECIFICATION SECTION 074646.
- 8. EXISTING STAIR AND/OR RAILING TO REMAIN. PROTECT DURING PERFORMANCE OF WORK.
- 9. AT BREEZEWAY EXTERIOR WALLS, REMOVE EXISTING EIFS AND INSPECT CONDITION OF EXISTING SHEATHING TO REMAIN. DETERIORATED AREAS OF SHEATHING ARE TO BE REPLACED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTION 012100. INSTALL NEW EXTERIOR WALL CLADDING SYSTEM, INCLUDING LIQUID-APPLIED AIR BARRIER, RIGID INSULATION, FURRING STRIPS, AND PREFINISHED FIBER CEMENT SIDING AND TRIM (INCLUDING REQUIRED FLASHINGS). REFER TO SPECIFICATION SECTIONS 072726 AND 074646 AND DETAILS ON DRAWING 401.
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- 11. REMOVE AND REPLACE EXISTING METAL DOOR AND FRAME. REFER TO SPECIFICATION SECTION 081100. PREPARE AND PAINT NEW DOOR AND FRAME PER SPECIFICATION SECTION 099101.
- 91. ALTERNATE 1: AT BREEZEWAY LEVEL 3 CEILINGS, REMOVE AND SPOT PRIME ALL AREAS OF LOOSE OR PEELING PAINT AND RECOAT ENTIRE CEILING, INCLUDING GYPSUM BOARD, WOOD BEAMS, AND WOOD TRIM. REFER TO SPECIFICATION SECTION 099100.
- 92. ALTERNATE 2: EXISTING ALUMINUM WINDOWS TO REMAIN. CLEAN, PREPARE, AND PAINT FRAMES. REFER TO SPECIFICATION SECTION 099101.

(X) KEY NOTE UNIT COST QUANTITY ESTIMATE OR NOTE DESCRIPTOR

EXISTING ASPHALT SHINGLES TO REMAIN - NO WORK

EXISTING STANDING SEAM METAL ROOF TO REMAIN - NO WORK

EIFS TO REMAIN 4

EIFS V-REVEAL

—-—- EIFS CONTROL JOINT (5) DOWNSPOUT 6

METAL DOOR AND FRAME DESIGNATION 11

ALUMINUM DOUBLE-HUNG WINDOW (92)





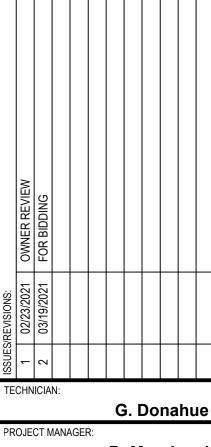
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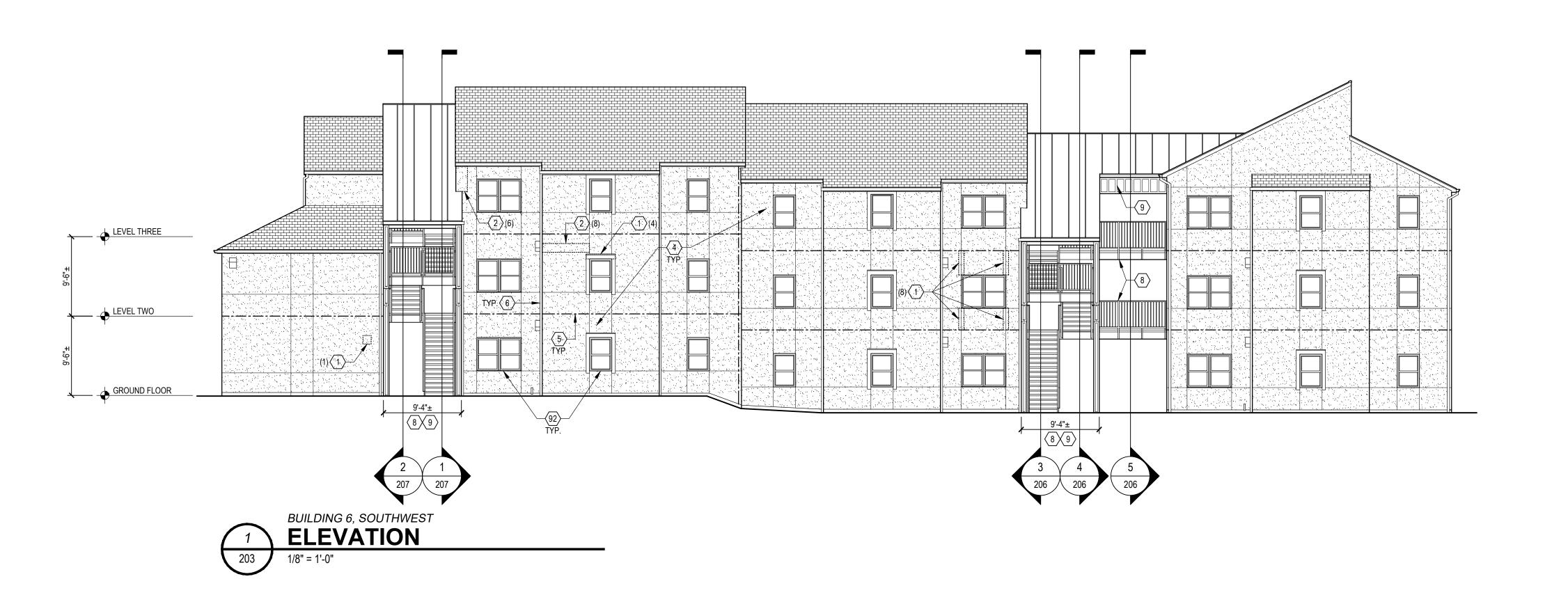
D. Morehead

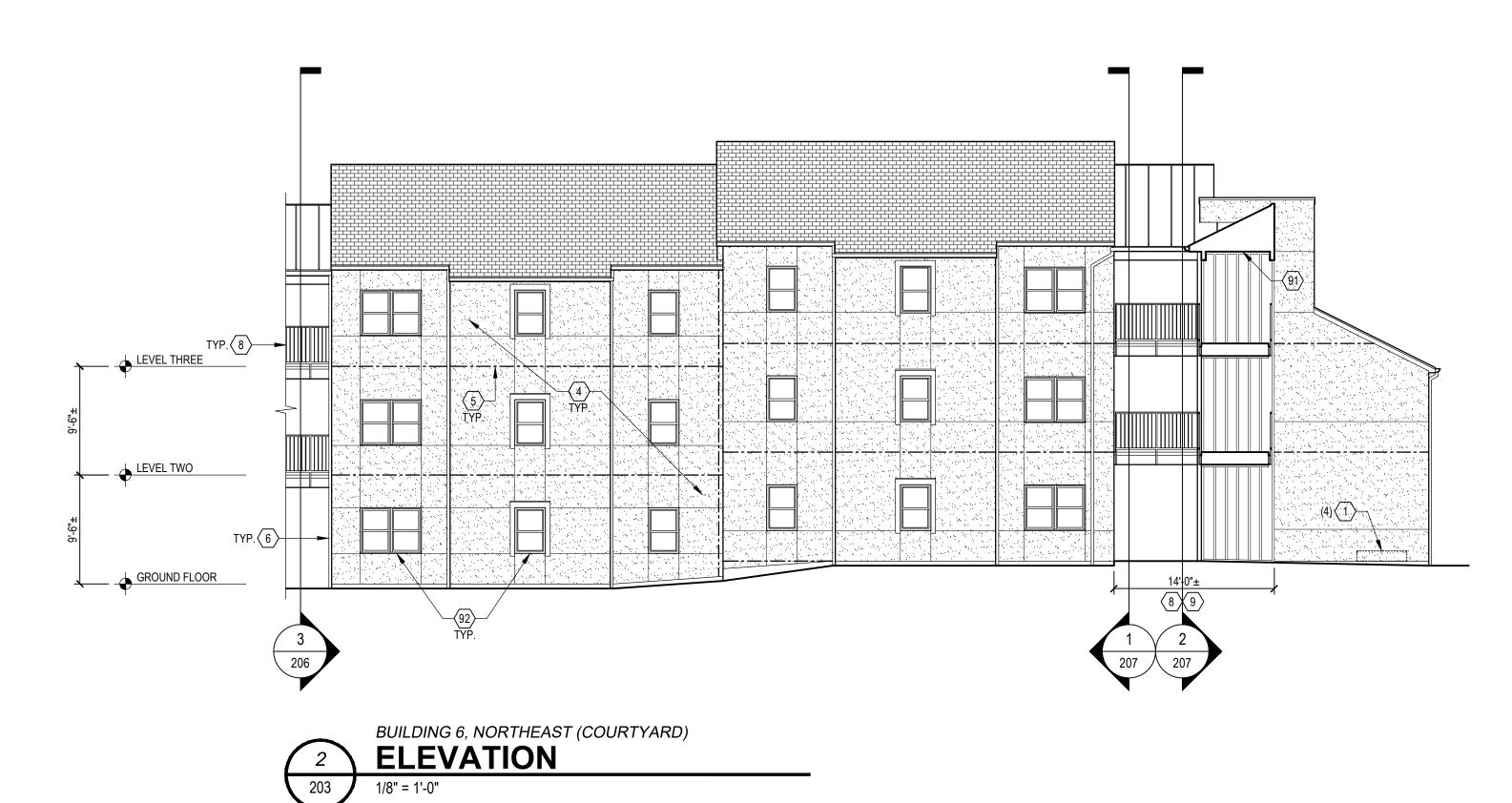
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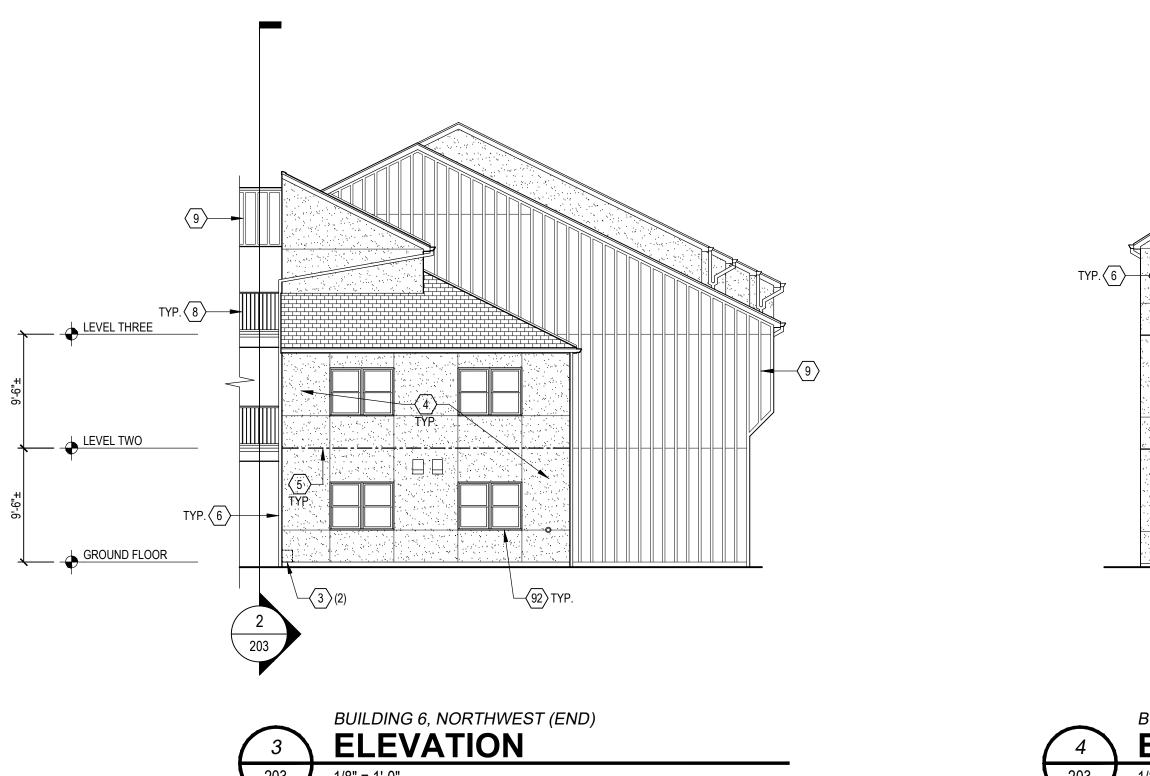
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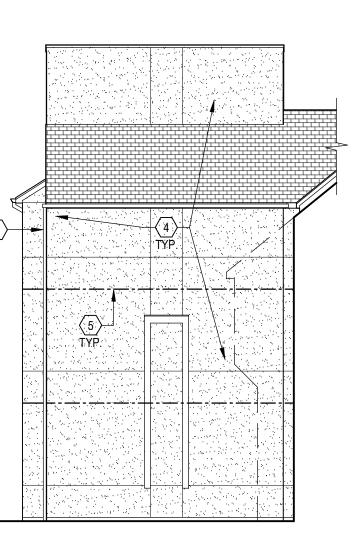
BUILDING 5 ELEVATIONS

02/23/2021











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EIFS TO REMAIN 4

EIFS V-REVEAL

—-—- EIFS CONTROL JOINT (5)

DOWNSPOUT 6

METAL DOOR AND FRAME DESIGNATION 11

ALUMINUM DOUBLE-HUNG WINDOW (92)



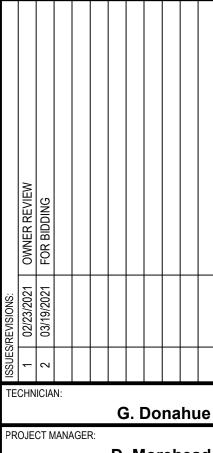
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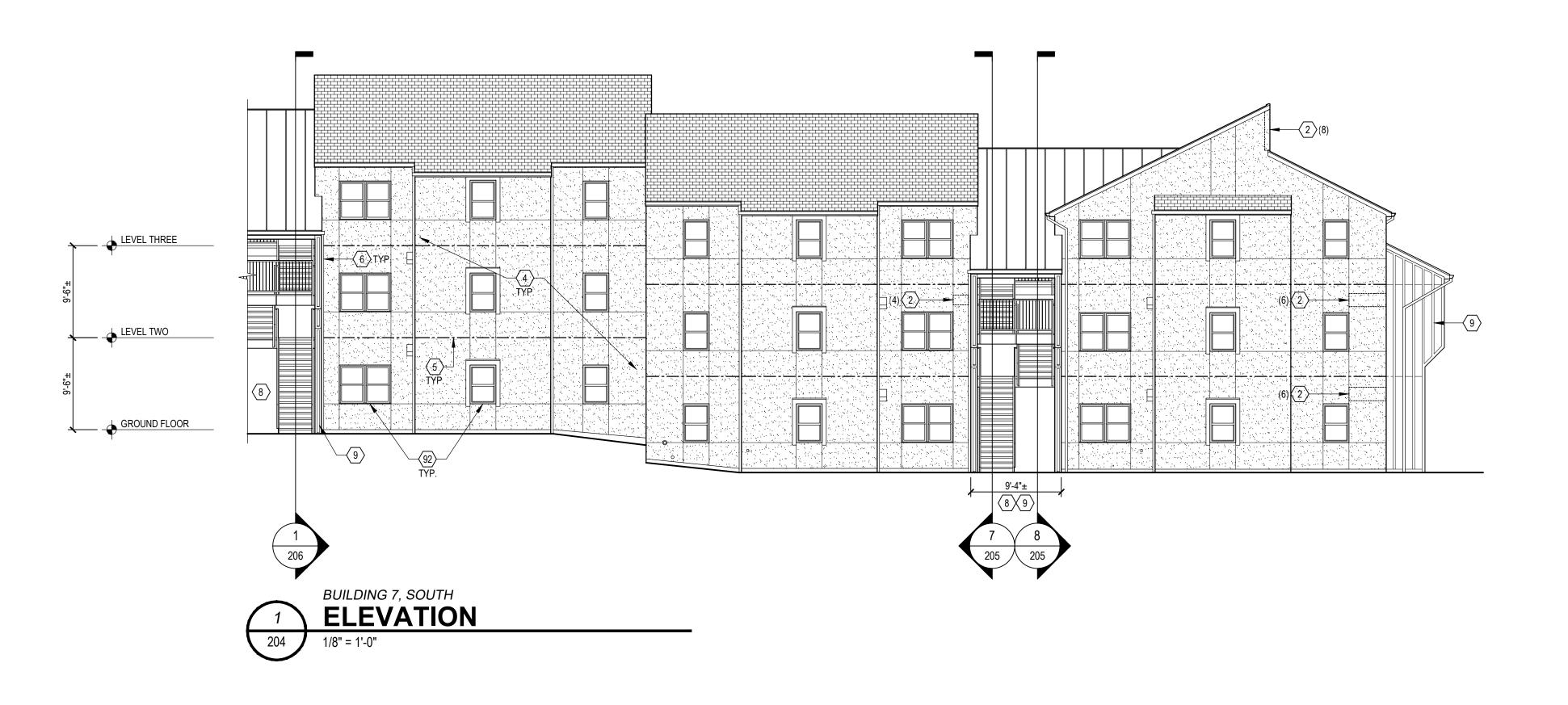
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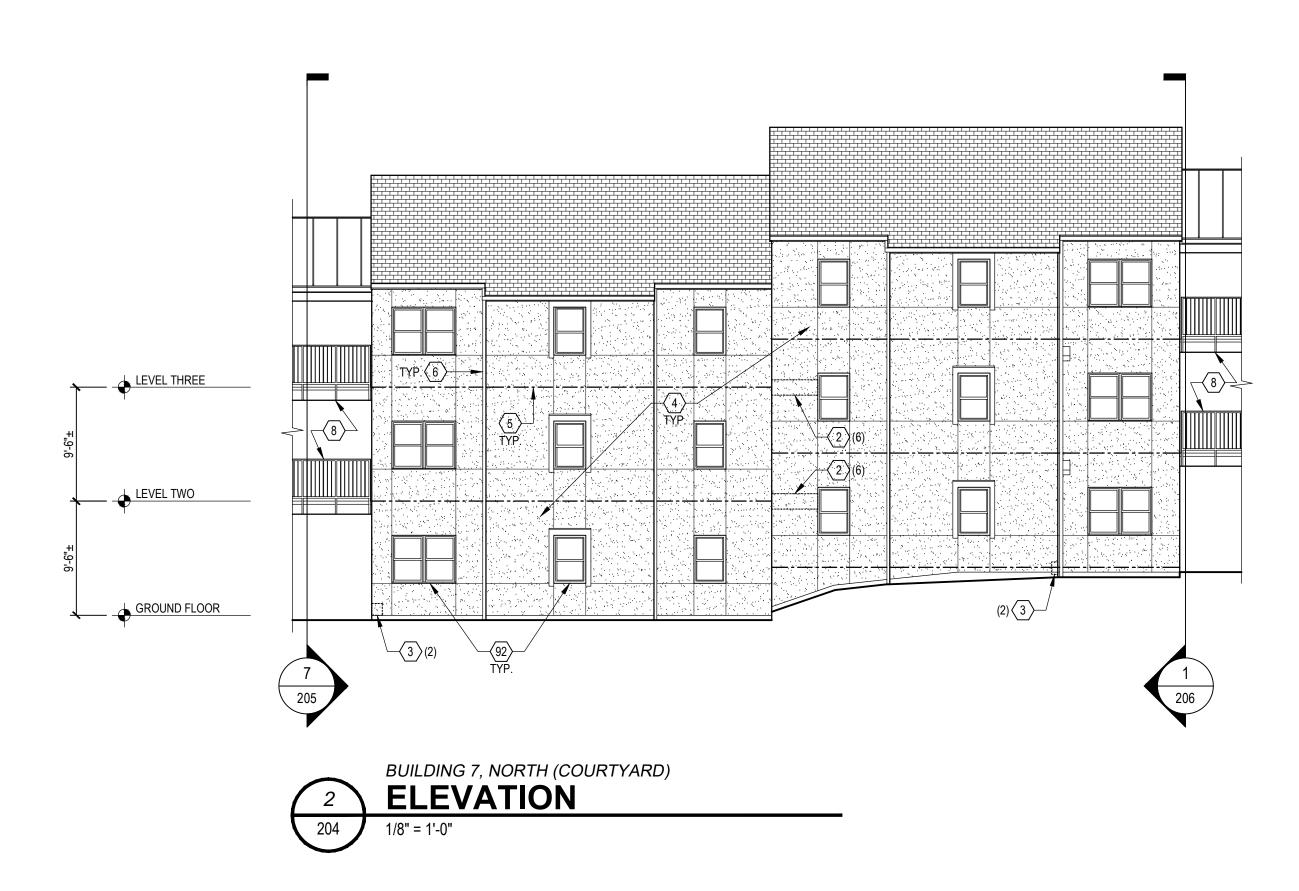
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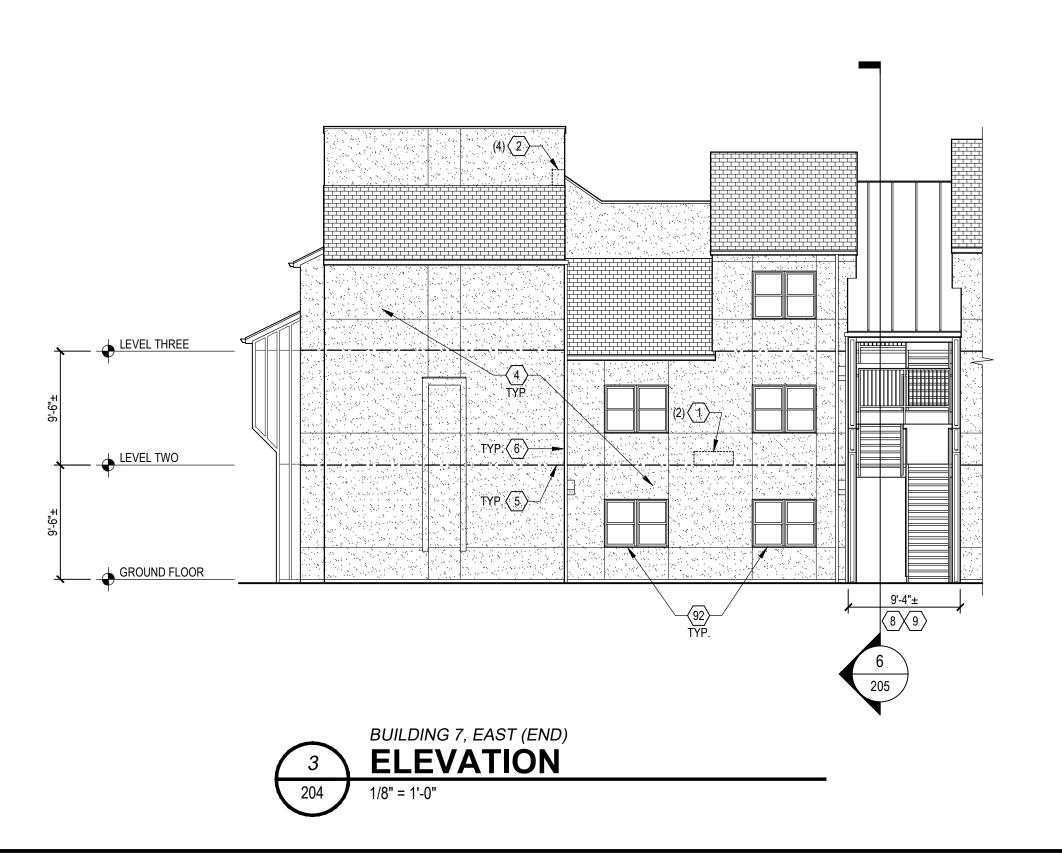
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BUILDING 6 ELEVATIONS

02/23/2021







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EIFS TO REMAIN 4

EIFS V-REVEAL

—-—- EIFS CONTROL JOINT (5)

DOWNSPOUT $\langle 6 \rangle$

METAL DOOR AND FRAME DESIGNATION 11

ALUMINUM DOUBLE-HUNG WINDOW (92)



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G. Donahue

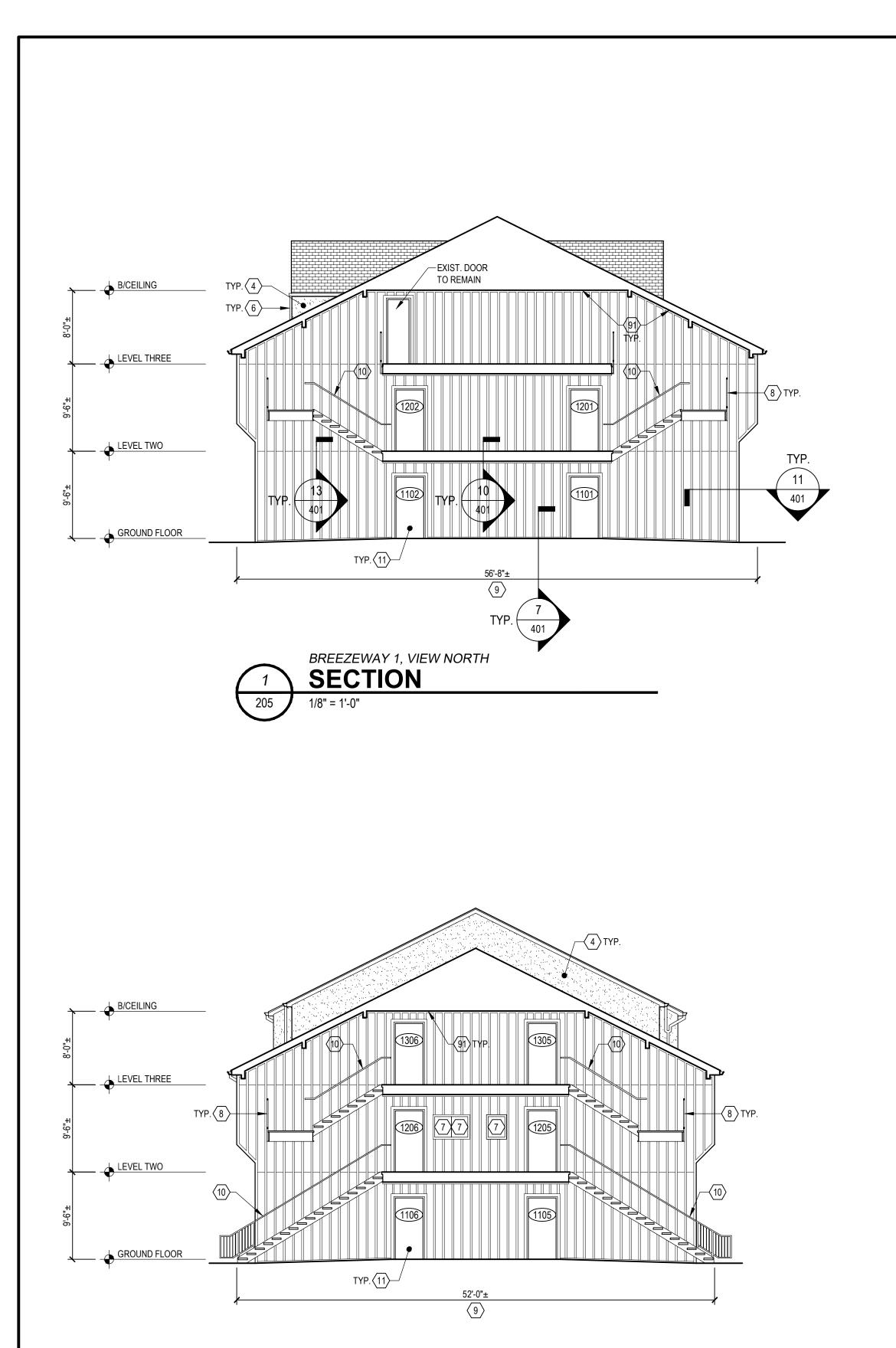
D. Morehead

Northern Kentucky |University|

Norse Hall Facade Repairs and Recladding NKU-29-2021

BUILDING 7

ELEVATIONS 02/23/2021



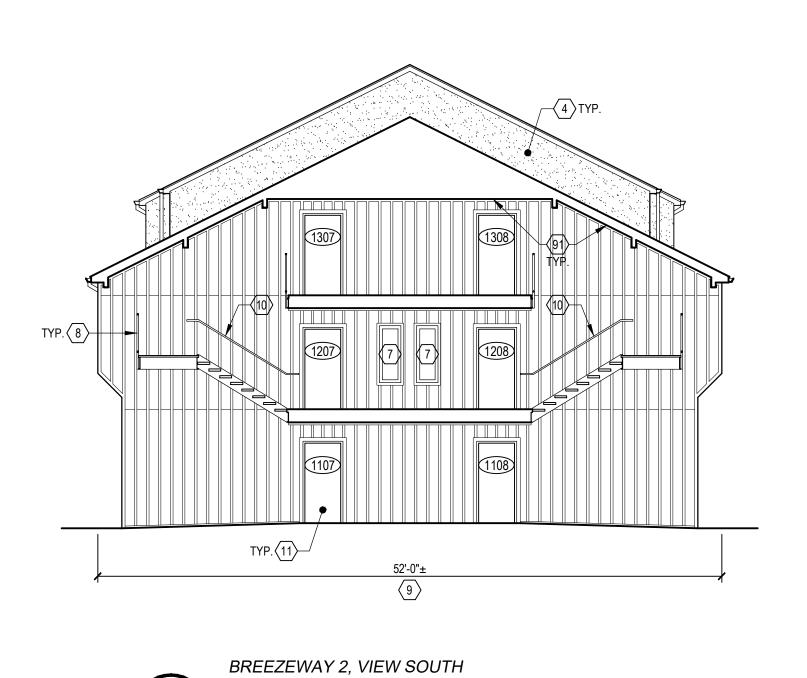
BREEZEWAY 2, VIEW NORTH

BREEZEWAY 3, VIEW SOUTH

SECTION

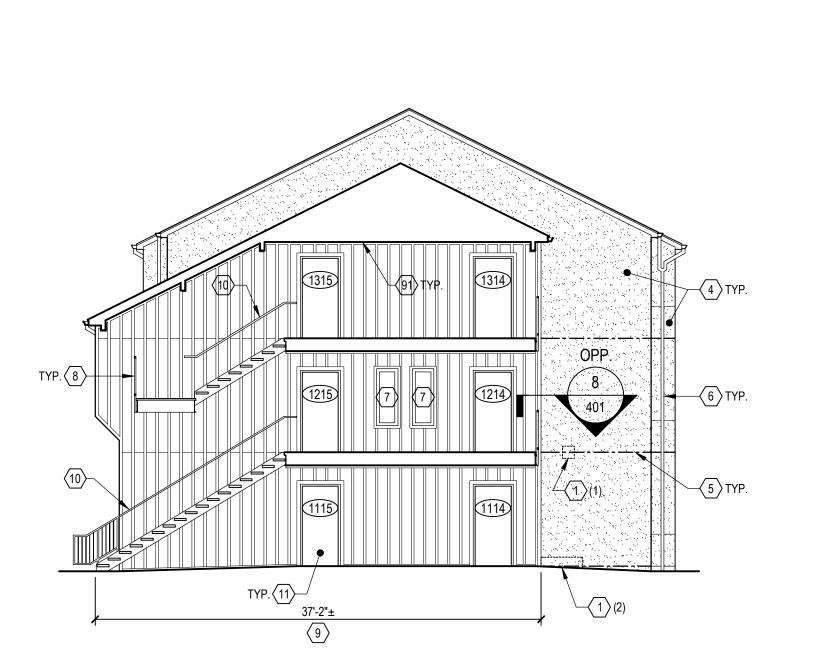
VIEW 6A

SECTION

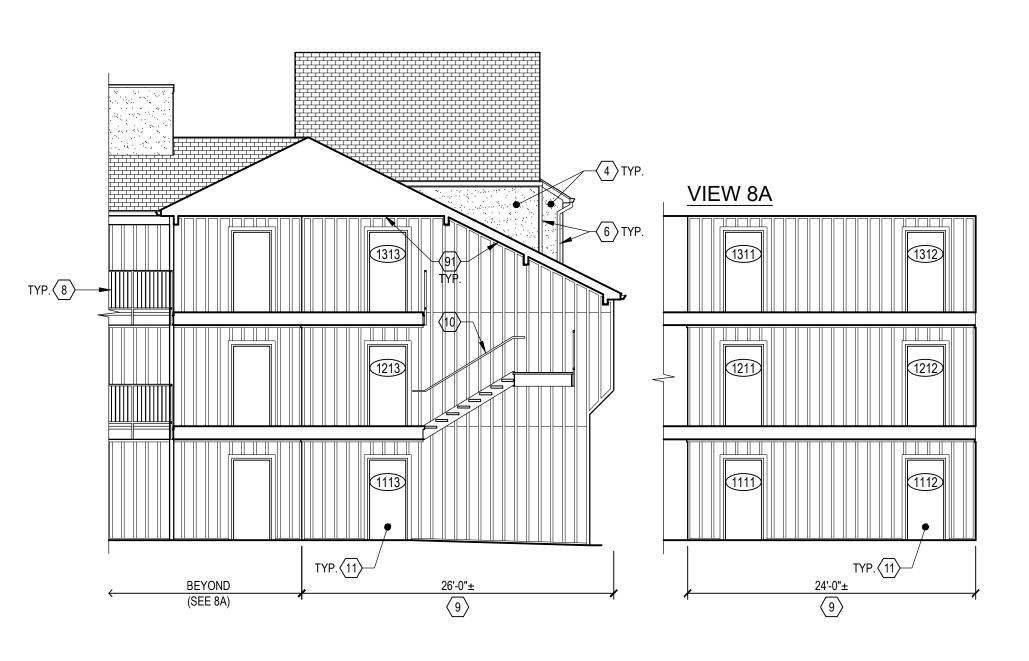


SECTION

BREEZEWAY 1, VIEW SOUTH







BREEZEWAY 3, VIEW NORTH

SECTION

BREEZEWAY 3, VIEW EAST SECTION

DRAWING NOTES:

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SECTIONS 012200 AND 072400.

DETAILS ON DRAWING 401.

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EIFS TO REMAIN 4

EIFS V-REVEAL —-—- EIFS CONTROL JOINT (5)

DOWNSPOUT 6

FIBER CEMENT SIDING 9

METAL DOOR AND FRAME DESIGNATION (11)

ALUMINUM DOUBLE-HUNG WINDOW 92

Cincinnati • Cleveland

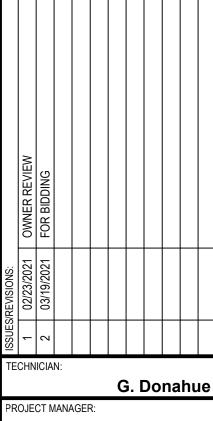
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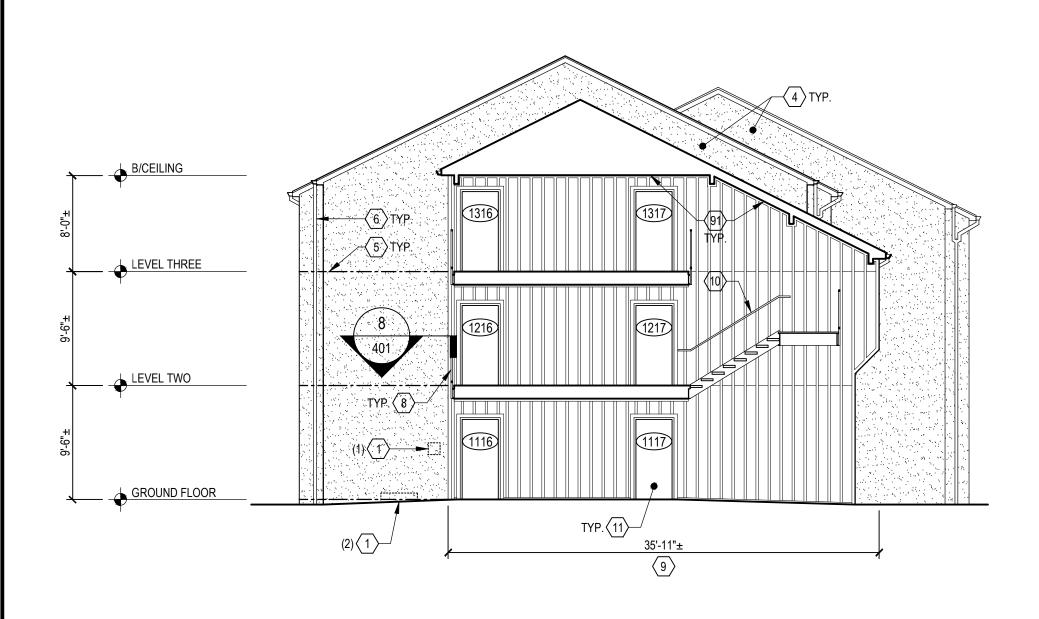


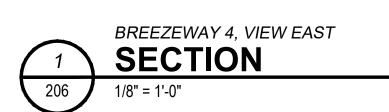
D. Morehead

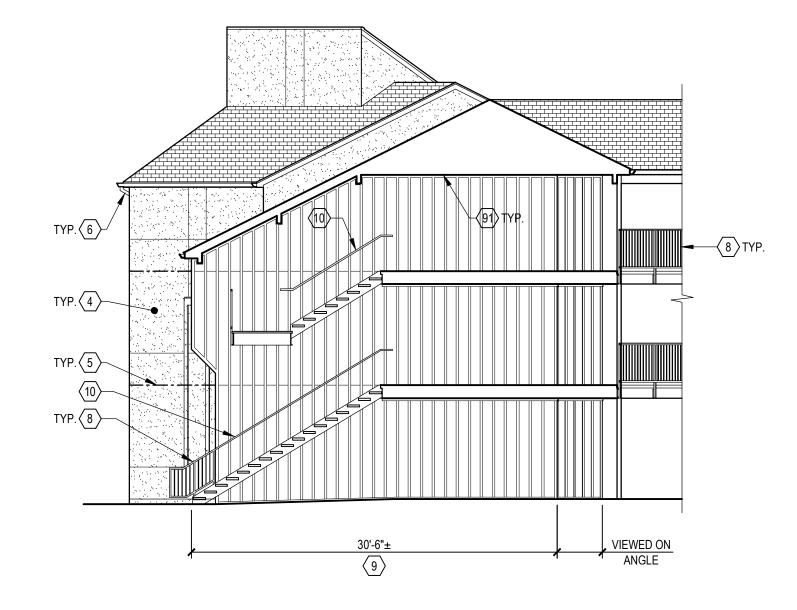
Northern Kentucky University

Norse Hall **Facade Repairs** and Recladding NKU-29-2021

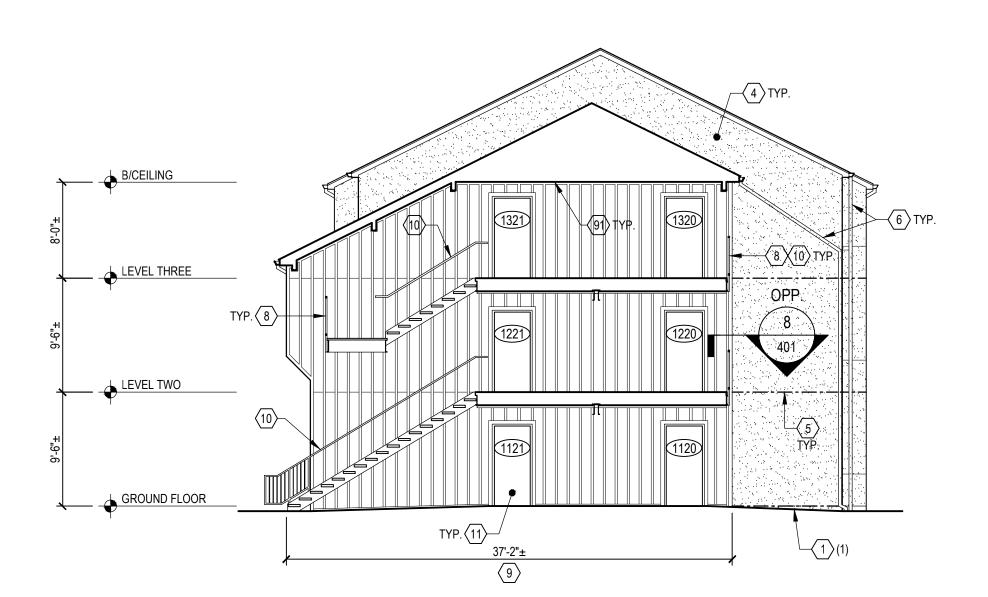
BREEZEWAYS 1, 2, & 3 SECTIONS



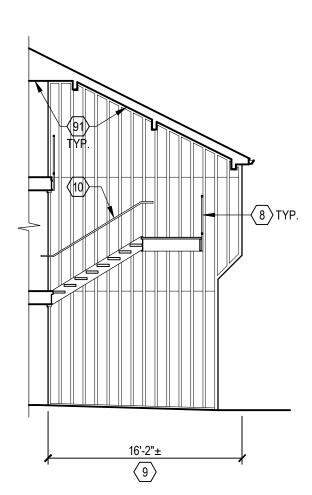




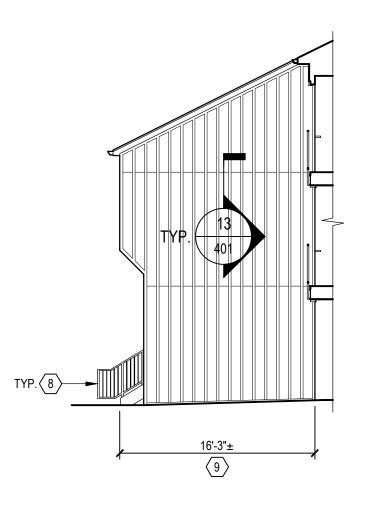




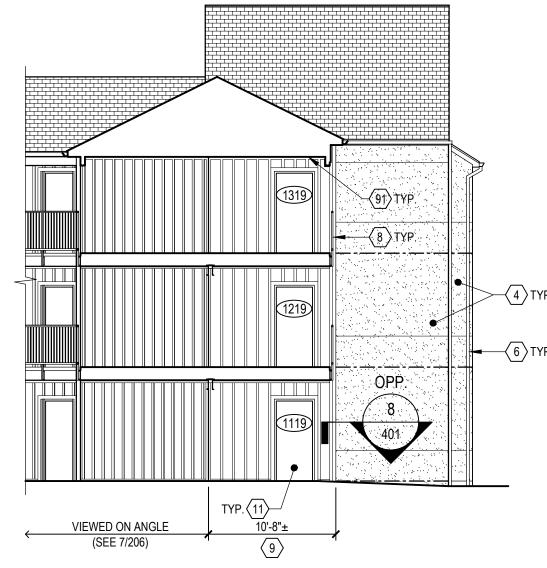












BREEZEWAY 4, VIEW SOUTHEAST **SECTION**

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- 6. REMOVE AND REINSTALL ALL EXISTING DOWNSPOUTS AS REQUIRED FOR EIFS REPAIRS, CLEANING, AND 7. EXISTING ELECTRICAL, PHONE, OR CABLE PANEL TO REMAIN. PROVIDE NEW FIBER CEMENT TRIM. REFER TO
- SIMILAR DETAILS 4/401 & 5/401 AND SPECIFICATION SECTION 074646. 8. EXISTING STAIR AND/OR RAILING TO REMAIN. PROTECT DURING PERFORMANCE OF WORK.
- 9. AT BREEZEWAY EXTERIOR WALLS, REMOVE EXISTING EIFS AND INSPECT CONDITION OF EXISTING SHEATHING TO REMAIN. DETERIORATED AREAS OF SHEATHING ARE TO BE REPLACED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTION 012100. INSTALL NEW EXTERIOR WALL CLADDING SYSTEM, INCLUDING LIQUID-APPLIED AIR BARRIER, RIGID INSULATION, FURRING STRIPS, AND PREFINISHED FIBER CEMENT SIDING AND TRIM (INCLUDING REQUIRED FLASHINGS). REFER TO SPECIFICATION SECTIONS 072726 AND 074646 AND DETAILS ON DRAWING 401.
- 10. DETACH RAILING AS REQUIRED TO ALLOW INSTALLATION OF NEW SIDING. PROVIDE BLOCKING AND TRIM AT RAILING ATTACHMENT POINTS SIMILAR TO DETAIL 14/401.
- 11. REMOVE AND REPLACE EXISTING METAL DOOR AND FRAME. REFER TO SPECIFICATION SECTION 081100. PREPARE AND PAINT NEW DOOR AND FRAME PER SPECIFICATION SECTION 099101.
- 91. ALTERNATE 1: AT BREEZEWAY LEVEL 3 CEILINGS, REMOVE AND SPOT PRIME ALL AREAS OF LOOSE OR PEELING PAINT AND RECOAT ENTIRE CEILING, INCLUDING GYPSUM BOARD, WOOD BEAMS, AND WOOD TRIM. REFER TO SPECIFICATION SECTION 099100.
- 92. ALTERNATE 2: EXISTING ALUMINUM WINDOWS TO REMAIN. CLEAN, PREPARE, AND PAINT FRAMES. REFER TO SPECIFICATION SECTION 099101.

(X) KEY NOTE UNIT COST QUANTITY ESTIMATE OR NOTE DESCRIPTOR

EXISTING ASPHALT SHINGLES TO REMAIN - NO WORK

EXISTING STANDING SEAM METAL ROOF TO REMAIN - NO WORK

EIFS TO REMAIN 4

EIFS V-REVEAL

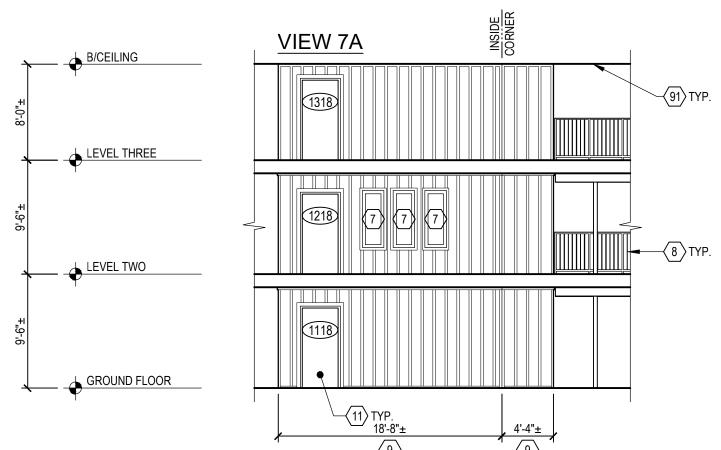
----- EIFS CONTROL JOINT $\langle 5 \rangle$

DOWNSPOUT 6

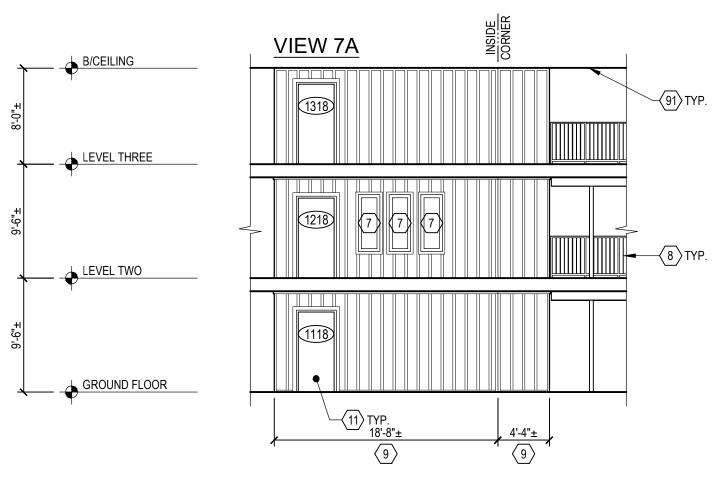
FIBER CEMENT SIDING 9

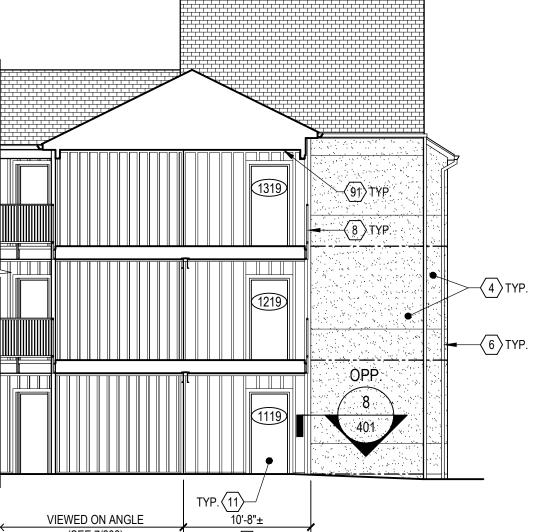
METAL DOOR AND FRAME DESIGNATION (11)

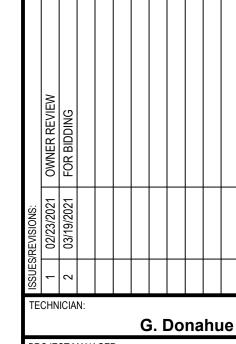
ALUMINUM DOUBLE-HUNG WINDOW 92











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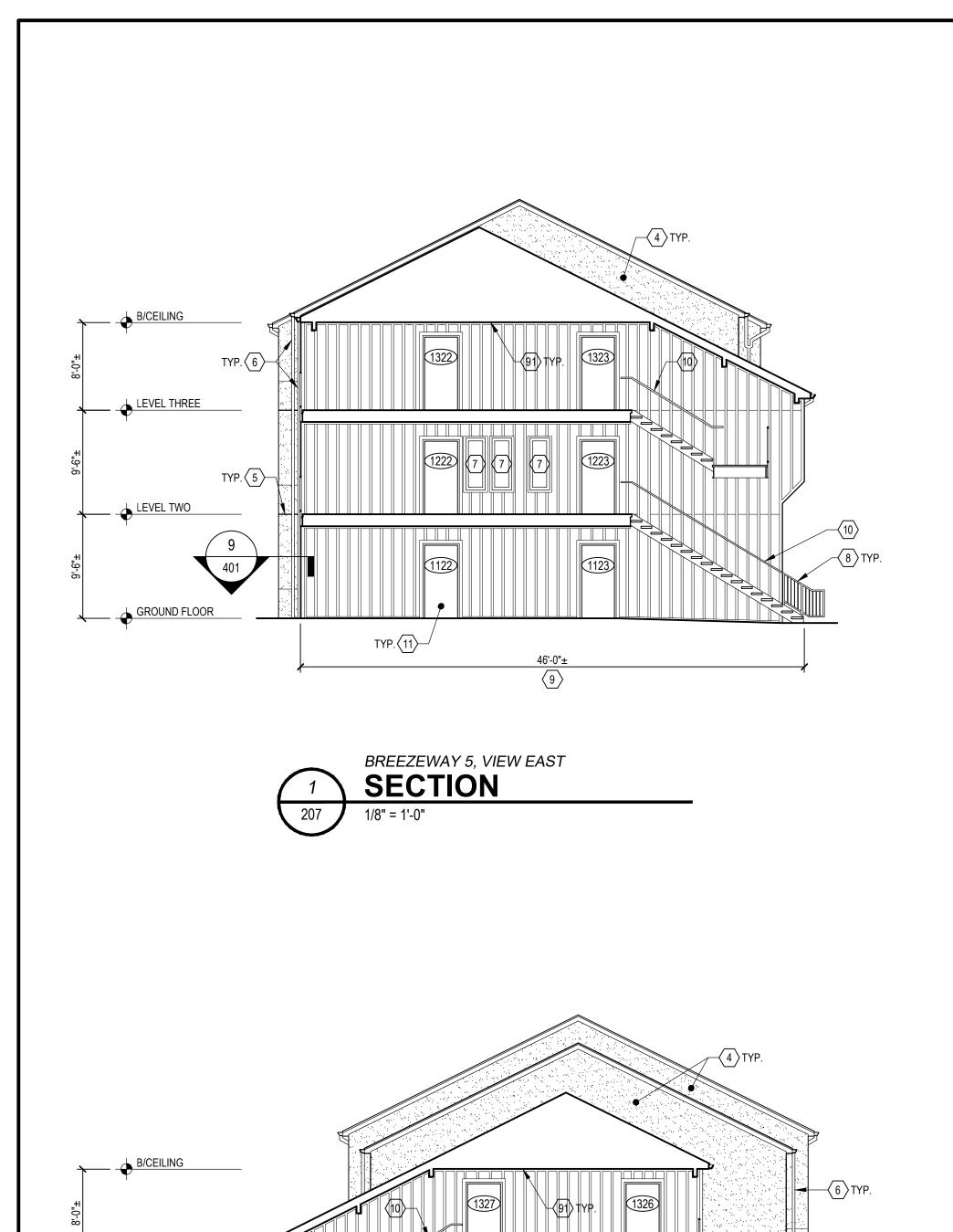
D. Morehead

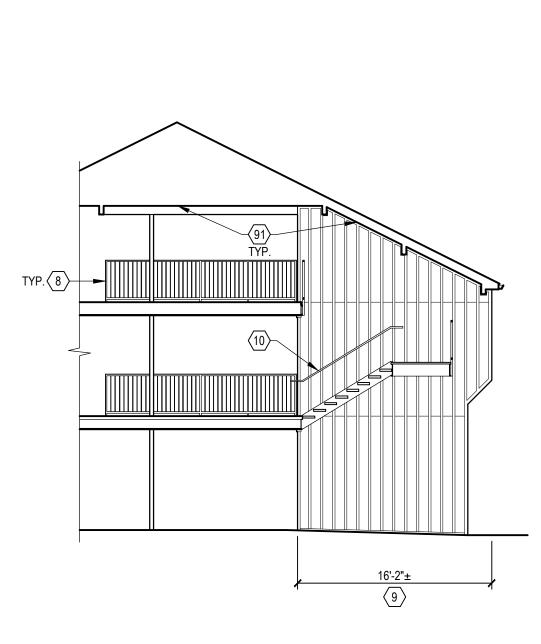
Northern Kentucky |University|

> Norse Hall **Facade Repairs** and Recladding NKU-29-2021

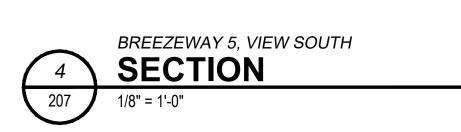
BREEZEWAY 4

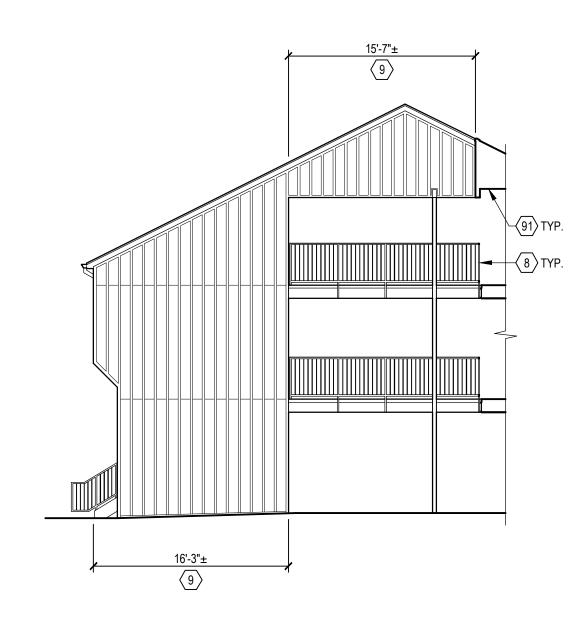
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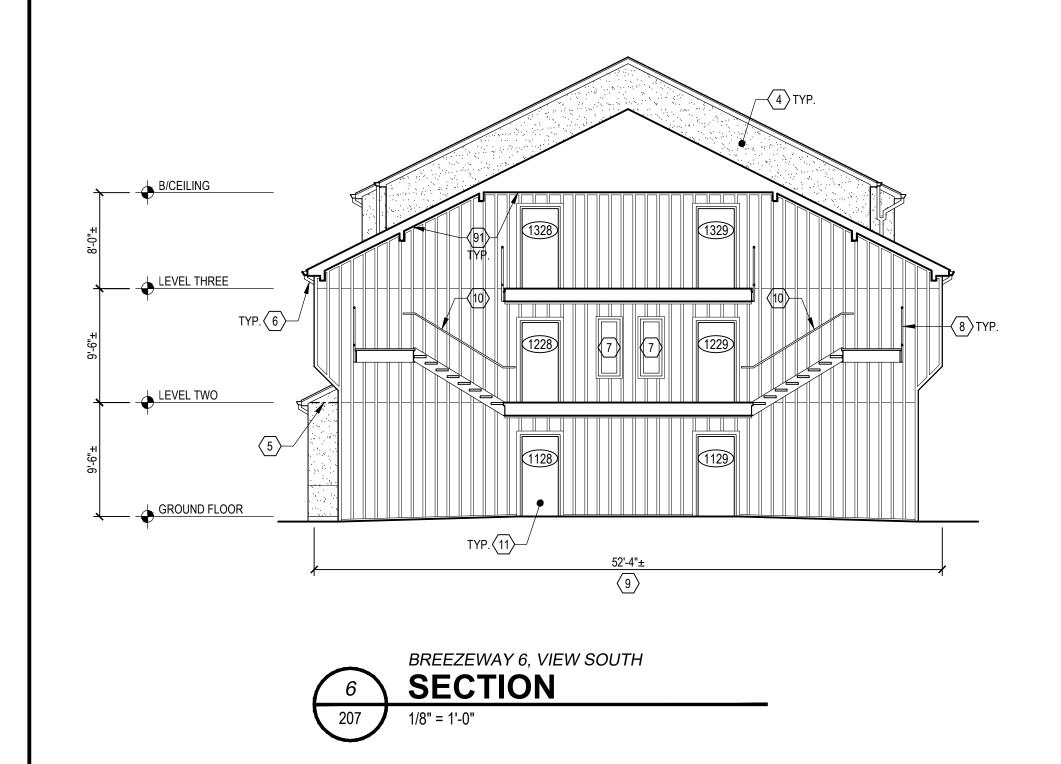


BREEZEWAY 5, VIEW WEST



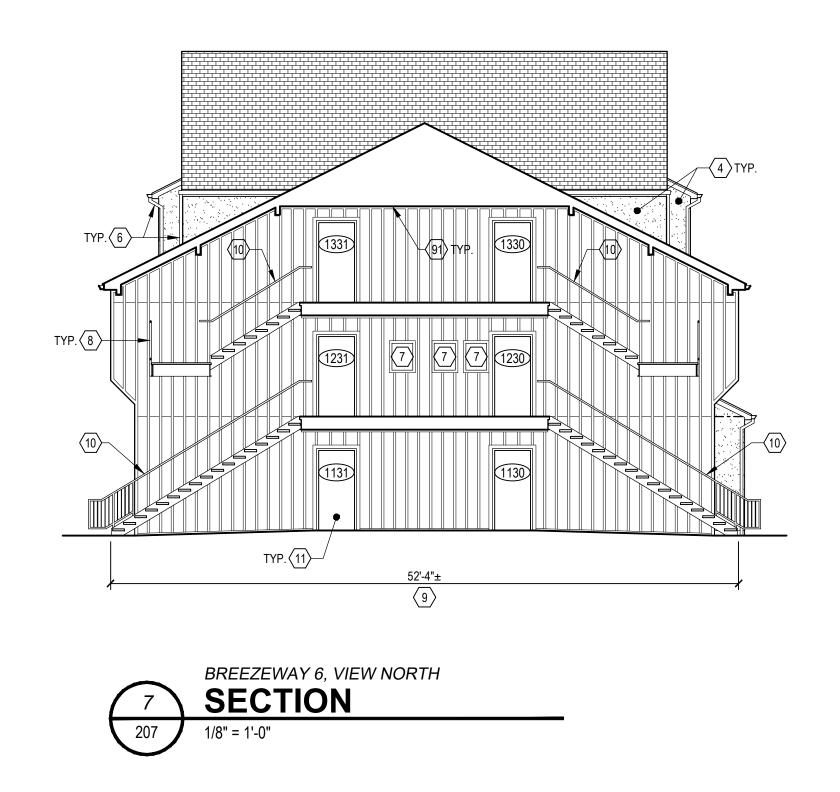






BREEZEWAY 5, VIEW NORTH

SECTION



DRAWING NOTES:

- A. REFER TO SHEET 001 FOR GENERAL NOTES.
- B. ALL DIMENSIONS INDICATED ON DRAWINGS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- C. RETURN WALLS AT BUILDING OFFSETS MAY NOT BE SHOWN IN ELEVATIONS AT ALL LOCATIONS, ELEVATIONS, OR IN THEIR ENTIRETY. REFER TO SHEETS 101 & 102 FOR KEY PLAN TO CONFIRM DEPTH OF RETURNS. ALL
- D. DRAWINGS DO NOT REFLECT ALL EQUIPMENT, VALVES, FIRE ALARM PULLS, WALL PLATES, JUNCTION BOXES, SIGNAGE, DEVICES, FIXTURES, ETC. PRESENT AT EXTERIOR WALLS.

RETURN WALLS AND GABLE END WALLS SHALL BE INCLUDED IN SCOPE OF THIS WORK.

E. ALL NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR LOCATIONS ELSEWHERE.

KEY NOTES: (

1. KNOWN LOCATION OF EIFS LAMINA REPAIR AT AREAS OF EXPOSED BASE COAT OR EXPOSED REINFORCING MESH. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012200 AND 072400 AND DETAIL 1/301.

- 2. KNOWN LOCATION OF EIFS CRACK REPAIR. RE-ANCHOR INSULATION BOARD PER DETAIL 2/301 AND REPAIR LAMINA PER DETAIL 1/301. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012200 AND 072400.
- 3. KNOWN LOCATION OF FULL-DEPTH EIFS PATCH REPAIR. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS.

CLEAN, PREPARE, AND RECOAT EIFS SURFACE. REFER TO SPECIFICATION SECTIONS 072400 AND 099101.

- REFER TO SPECIFICATION SECTIONS 012200 AND 072400 AND DETAILS 3/301 AND 4/301.

 4. EXISTING EXTERIOR INSULATION AND FINISH SYSTEM TO REMAIN. AFTER COMPLETION OF EIFS REPAIRS.
- 5. AT ISOLATED LOCATIONS WITHIN EIFS WHERE CONTROL JOINT SEALANT HAS DISBONDED, REMOVE AND REPLACE BACKER ROD AND SEALANT. REPAIRS TO BE PERFORMED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTIONS 012100 AND 079201 AND DETAIL 5/301.
- 6. REMOVE AND REINSTALL ALL EXISTING DOWNSPOUTS AS REQUIRED FOR EIFS REPAIRS, CLEANING, AND RE-COATING.
- 7. EXISTING ELECTRICAL, PHONE, OR CABLE PANEL TO REMAIN. PROVIDE NEW FIBER CEMENT TRIM. REFER TO SIMILAR DETAILS 4/401 & 5/401 AND SPECIFICATION SECTION 074646.
- 8. EXISTING STAIR AND/OR RAILING TO REMAIN. PROTECT DURING PERFORMANCE OF WORK.
- 9. AT BREEZEWAY EXTERIOR WALLS, REMOVE EXISTING EIFS AND INSPECT CONDITION OF EXISTING SHEATHING TO REMAIN. DETERIORATED AREAS OF SHEATHING ARE TO BE REPLACED ON A UNIT PRICE BASIS. REFER TO SPECIFICATION SECTION 012100. INSTALL NEW EXTERIOR WALL CLADDING SYSTEM, INCLUDING LIQUID-APPLIED AIR BARRIER, RIGID INSULATION, FURRING STRIPS, AND PREFINISHED FIBER CEMENT SIDING AND TRIM (INCLUDING REQUIRED FLASHINGS). REFER TO SPECIFICATION SECTIONS 072726 AND 074646 AND DETAILS ON DRAWING 401.
- 10. DETACH RAILING AS REQUIRED TO ALLOW INSTALLATION OF NEW SIDING. PROVIDE BLOCKING AND TRIM AT RAILING ATTACHMENT POINTS SIMILAR TO DETAIL 14/401.
- 11. REMOVE AND REPLACE EXISTING METAL DOOR AND FRAME. REFER TO SPECIFICATION SECTION 081100. PREPARE AND PAINT NEW DOOR AND FRAME PER SPECIFICATION SECTION 099101.
- 91. ALTERNATE 1: AT BREEZEWAY LEVEL 3 CEILINGS, REMOVE AND SPOT PRIME ALL AREAS OF LOOSE OR PEELING PAINT AND RECOAT ENTIRE CEILING, INCLUDING GYPSUM BOARD, WOOD BEAMS, AND WOOD TRIM. REFER TO SPECIFICATION SECTION 099100.
- 92. ALTERNATE 2: EXISTING ALUMINUM WINDOWS TO REMAIN. CLEAN, PREPARE, AND PAINT FRAMES. REFER TO SPECIFICATION SECTION 099101.



(X) KEY NOTE
UNIT COST QUANTITY ESTIMATE OR NOTE DESCRIPTOR

EXISTING ASPHALT SHINGLES TO REMAIN - NO WORK

EXISTING STANDING SEAM METAL ROOF TO REMAIN - NO WORK

EIFS TO REMAIN 4

EIFS V-REVEAL

EIFS CONTROL JOINT (5)

DOWNSPOUT 6 FIBER CEMENT SIDING 9

FIBER CEMENT SIDING (9)

METAL DOOR AND FRAME DESIGNATION (11)

ALUMINUM DOUBLE-HUNG WINDOW (92)

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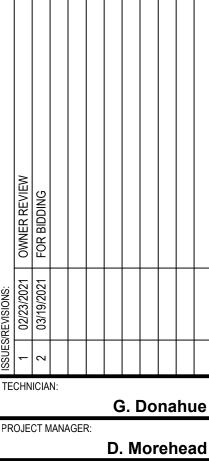
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D. Morehead
PRINCIPAL:

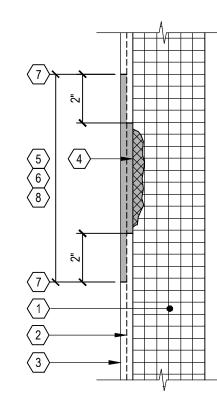
W. Jude

Northern Kentucky University

> Norse Hall Facade Repairs and Recladding NKU-29-2021

BREEZEWAYS 5 & 6
SECTIONS

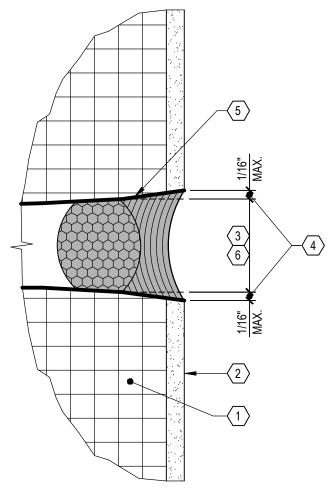
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- (1) EXISTING 2" INSULATION BOARD TO REMAIN. DO NOT DAMAGE.
- (2) EXISTING EIFS BASE COAT WITH REINFORCING MESH TO REMAIN. DO NOT DAMAGE.
- (3) EXISTING EIFS FINISH COAT TO REMAIN. DO NOT DAMAGE.
- 4 CONFIRM DAMAGED OR DETERIORATED EIFS LOCATIONS REQUIRING REPAIR WITH A/E AND OWNER IN ADVANCE. REMOVE LOOSE, DAMAGED OR OTHERWISE INADEQUATE MATERIAL TO EXPOSE CLEAN TIGHT MATERIALS. INFILL DAMAGED INSULATION BOARD WITH LOW EXPANDING URETHANE SPRAY FOAM. ALLOW SPRAY FOAM TO CURE. SHAVE OR RASP FLUSH WITH ADJACENT INSULATION SURFACES. REFER TO SPECIFICATION SECTION 072400.
- \langle 5 \rangle EXISTING EIFS FINISH COAT AND MESH REINFORCING TO BE REMOVED TO EXPOSE BASE COAT. REFER TO SPECIFICATION SECTION 072400.
- 6 PROVIDE NEW EIFS BASE COAT WITH MESH REINFORCING. OVERLAP NEW MESH 2 INCHES ONTO EXISTING EXPOSED BASE COAT. COMPLETELY ENCAPSULATE NEW MESH IN BASE COAT. REFER TO SPECIFICATION SECTION 072400.
- (7) INTERFACE BETWEEN EXISTING AND NEW SURFACES MUST BE A NEAT STRAIGHT LINE. USE LEVEL OR TAKE OTHER MEASURES TO ASSURE TERMINATIONS ARE HORIZONTAL AND VERTICAL AND
- 8 PROVIDE NEW EIFS FINISH COAT. FEATHER OUT FINISH COAT TO BE FLUSH WITH EXISTING TOP COAT. REFER TO SPECIFICATION SECTION 072400.

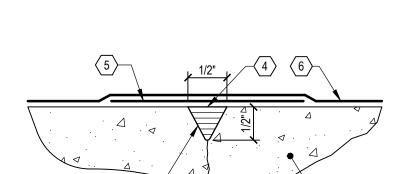
EIFS LAMINA REPAIR





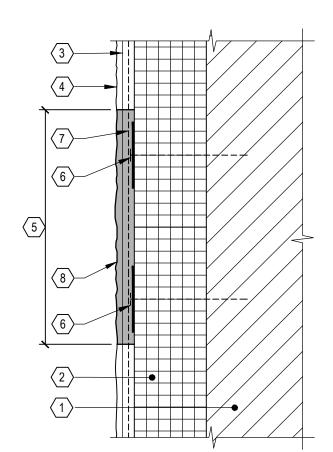
- 1 EXISTING INSULATION BOARD.
- $\langle 2 \rangle$ EXISTING EIFS LAMINA.
- (3) EXISTING CONTROL JOINT. REMOVE EXISTING SEALANT AND BACKER ROD.
- 4 GRIND EXISTING EDGES OF JOINT SIDES TO REMOVE SEALANT REMNANTS AND CLEAN SURFACE. AFTER COMPLETION OF GRINDING, BLOW-OUT JOINT OPENING WITH COMPRESSED AIR TO REMOVE DUST, DIRT, AND DEBRIS. REFER TO SPECIFICATION SECTION 079200.
- (5) COAT SIDES OF PREPARED JOINT WITH CEMENTITIOUS MATERIAL. REFER TO SPECIFICATION
- (6) AFTER CURE OF COATING MATERIAL, INSTALL NEW BACKER ROD AND SILICONE SEALANT. REFER TO DETAIL 6/401 AND SPECIFICATION SECTION 079200.

CONTROL JOINT REPAIR AT EXISTING EIFS



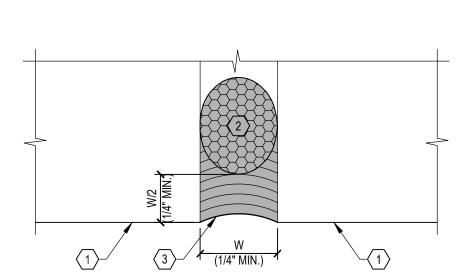
- (1) EXISTING CONCRETE SLAB.
- ROUT CRACKS IN "V" CONFIGURATION, MINIMUM 1/2" WIDE x 1/2" DEEP, OR WHEN 1/2" DIMENSION IS INSUFFICIENT, USE MINIMUM WIDTH TO DEPTH RATIO OF 1:1. REFER TO SPECIFICATION SECTION 079200.
- (3) PREPARE ALL SURFACES INTENDED FOR NEW SEALANT. REFER TO SPECIFICATION
- PRIME SUBSTRATE AND PROVIDE NEW SEALANT. INSTALL SEALANT FLUSH WITH ADJOINING SURFACES. REFER TO SPECIFICATION SECTION 079200.
- 5 NEW 4" WIDE MEMBRANE DETAIL COAT CENTERED ON JOINT. REFER TO SPECIFICATION SECTION 071800.
- (6) NEW MEMBRANE SYSTEM. REFER TO SPECIFICATION SECTION 071800.

TYPICAL MEMBRANE AT RANDOM CRACK



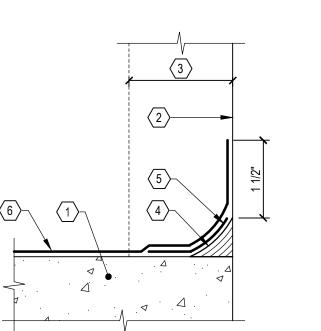
- 1 EXISTING BACKUP WALL.
- (2) EXISTING RIGID INSULATION BOARD.
- (3) EXISTING EIFS BASE COAT WITH REINFORCING MESH.
- 4 EXISTING EIFS TOP COAT.
- \langle 5 \rangle REMOVE EIFS TOP COAT AND EXISTING BASE COAT LEAVING REINFORCING MESH INTACT. REFER TO SPECIFICATION SECTION 072400.
- (6) PROVIDE NEW ANCHORS WITH DISKS AT 16" O.C. INTO EXISTING STUD OR CMU WALL. WHERE CRACK COINCIDES WITH INSULATION PANEL JOINT, PROVIDE ANCHORS AT PANELS ON BOTH SIDES OF JOINT. REFER TO SPECIFICATION SECTION 072400.
- 7 AFTER INSTALLATION OF ANCHOR, OVERCOAT AFFECTED AREA WITH NEW BASE COAT MATERIAL. REFER TO SPECIFICATION SECTION 072400.
- 8 AFTER CURE OF BASE COAT, PROVIDE NEW FINISH COAT. REFER TO DETAIL 1/401 AND SPECIFICATION SECTION 072400.

TYPICAL EIFS RE-ANCHORING



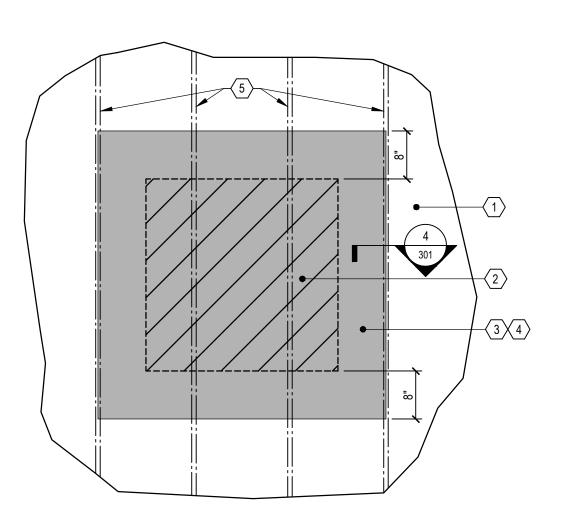
- (1) SURFACE OF NEW FIBER CEMENT TRIM, EXISTING VINYL SOFFIT, OR EXISTING EIFS.
- PROVIDE NEW BACKER ROD. REFER TO SPECIFICATION SECTION 079200.
- (3) PROVIDE NEW SILICONE SEALANT. REFER TO SPECIFICATION SECTION 079200.

TYPICAL BUTT JOINT SEALANT



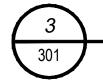
- 1 EXISTING CONCRETE SLAB ON METAL DECK.
- (2) EXISTING EXTERIOR WALL OR VERTICAL PROJECTION.
- $\langle 3 \rangle$ EXISTING EIFS TO BE REMOVED TO ALLOW MEMBRANE TO EXTEND TO EXISTING SHEATHING.
- 4 PROVIDE NEW COVE SEALANT. REFER TO DETAIL 7/301. 5 NEW DETAIL COAT TERMINATED ON COVE SEALANT. REFER TO SPECIFICATION SECTION 071800.
- 6 NEW MEMBRANE SYSTEM. TERMINATE MEMBRANE SYSTEM 1 1/2" ABOVE COVE SEALANT AT WALL SHEATHING. WHERE VERTICAL PROJECTION IS STEEL, TERMINATE MEMBRANE SYSTEM ON COVE SEALANT. REFER TO SPECIFICATION SECTION 071800.

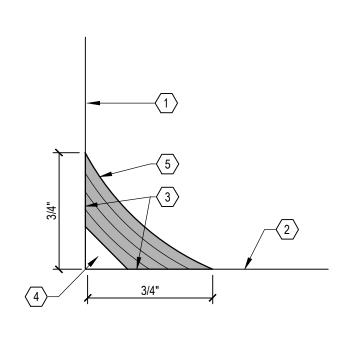




- (1) EXISTING EIFS SYSTEM TO REMAIN. DO NOT DAMAGE.
- $\langle 2 \rangle$ Area of Deteriorated exterior sheathing board or Delamination.
- \langle 3 \rangle REMOVE EIFS SYSTEM (INCLUDING EXTERIOR SHEATHING BOARD AS NEEDED) AND EXPOSE OF FRAMING. REMOVAL TO EXTEND 8" BEYOND DETERIORATED AREA TOP AND BOTTOM, AND TO CENTER LINE OF NEAREST STUD ON EACH SIDE.
- 4 PROVIDE NEW EIFS SYSTEM PER SPECIFICATION SECTION 072400.
- (5) EXISTING EXTERIOR WALL FRAMING AT 16" O.C. ASSUMED. CONTRACTOR TO VERIFY AND COORDINATE ACTUAL SPACING AND EXISTING CONDITIONS.

EIFS FULL DEPTH PATCHING REPAIR **ELEVATION DETAIL**



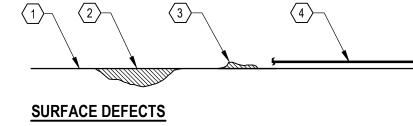


- 1 SURFACE OF EXISTING WALL.
- 2 EXISTING CONCRETE SLAB.
- PREPARE ALL SURFACES INTENDED FOR NEW SEALANT. REFER TO SPECIFICATION SECTION 079200.
- 4 BOND BREAKER TAPE OR BACKER ROD.

TYPICAL COVE SEALANT

INSTALL COVE SEALANT. PROVIDE MINIMUM 1/2" THROAT. INSTALL PER DIMENSIONS UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION SECTION 079200.

DETAIL



SPECIFICATION SECTION 072400.

SPECIFICATION SECTION 072400.

SECTION 072400.

(6) PROVIDE NEW EXTERIOR SHEATHING BOARD (AS NEEDED). SECURE TO FRAMING WITH SCREWS. REFER TO

7 PROVIDE NEW RIGID INSULATION BOARD. ATTACH TO EXTERIOR SHEATHING WITH ADHESIVE. FIT TIGHT TO

ONTO EXISTING EXPOSED BASE COAT. REFER TO SPECIFICATION SECTION 072400.

EIFS FULL DEPTH PATCHING REPAIR

(8) PROVIDE NEW EIFS BASE COAT WITH MESH REINFORCING. OVERLAP NEW BASE COAT AND REINFORCING MESH

9 PROVIDE NEW EIFS FINISH COAT TO BE EXTENDED OVER EXISTING REINFORCEMENT. REFER TO SPECIFICATION

(10) INTERFACE BETWEEN EXISTING AND NEW SURFACES MUST BE A NEAT STRAIGHT LINE. USE LEVEL OR TAKE

OTHER MEASURES TO ASSURE TERMINATIONS ARE HORIZONTAL AND VERTICAL AND CORNERS ARE 90°.

EXISTING INSULATION. OVERLAP ONTO EXISTING SHEATHING BOARD. REFER TO SPECIFICATION SECTION 072400.

(1) EXISTING CONCRETE SLAB.

CUT-OFF NON-FUNCTIONAL METALS 3/4" BELOW CONCRETE SURFACE. PREPARE CONCRETE AND PATCH WITH EPOXY/SAND MIXTURE. NO FLAME CUTTING PERMITTED.

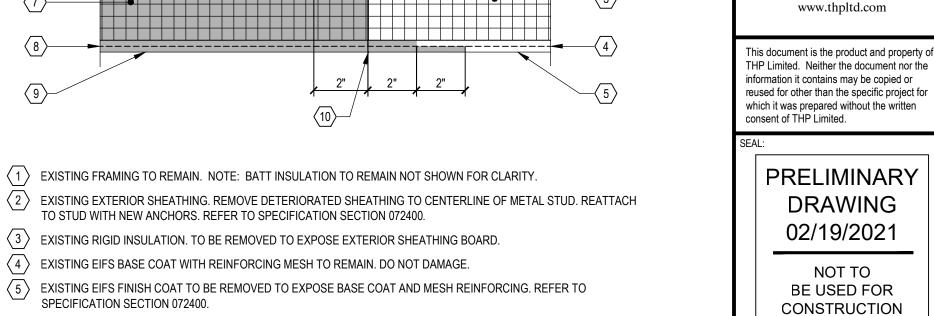
EXPOSED SLAB REINFORCEMENT AND OR WIRE MESH. CUT AND REMOVE SUFFICIENT AMOUNT OF REINFORCEMENT TO PROVIDE 1/2" COVER AT CUT ENDS. PREPARE AND PATCH WITH EPOXY/SAND MIXTURE. CONSULT WITH ENGINEER PRIOR TO CUTTING REINFORCEMENT.

- $\langle 2 \rangle$ REPAIR MINOR EXISTING SURFACE DEFECTS CAUSED BY AGGREGATE POP-OUTS, SURFACE SCALING, AND FREEZE-THAW DAMAGE IN MANNER ACCEPTABLE TO ENGINEER AND MEMBRANE MANUFACTURER. REFER TO SPECIFICATION SECTION 071800.
- GRIND SMOOTH OR OTHERWISE REMOVE EXISTING EXCESS CONCRETE AND/OR MATERIAL DEPOSITED (LEFT ON SLAB) FROM CONSTRUCTION ACTIVITIES. WHERE EXISTING SLAB CONCRETE IS MOUNDED OR OTHERWISE PROTRUDES MORE THAN 1/16" ABOVE DECK, GRIND IT SMOOTH, OR GRIND TRANSITION SLOPE OF 1:4 (MAXIMUM) WITH BLENDING RADII AT PERIMETER OF LARGE

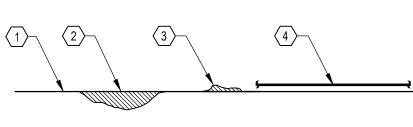
SUPPLEMENTAL SURFACE PREPARATION

4 NEW MEMBRANE SYSTEM. REFER TO SPECIFICATION SECTION 071800.





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G. Donahue

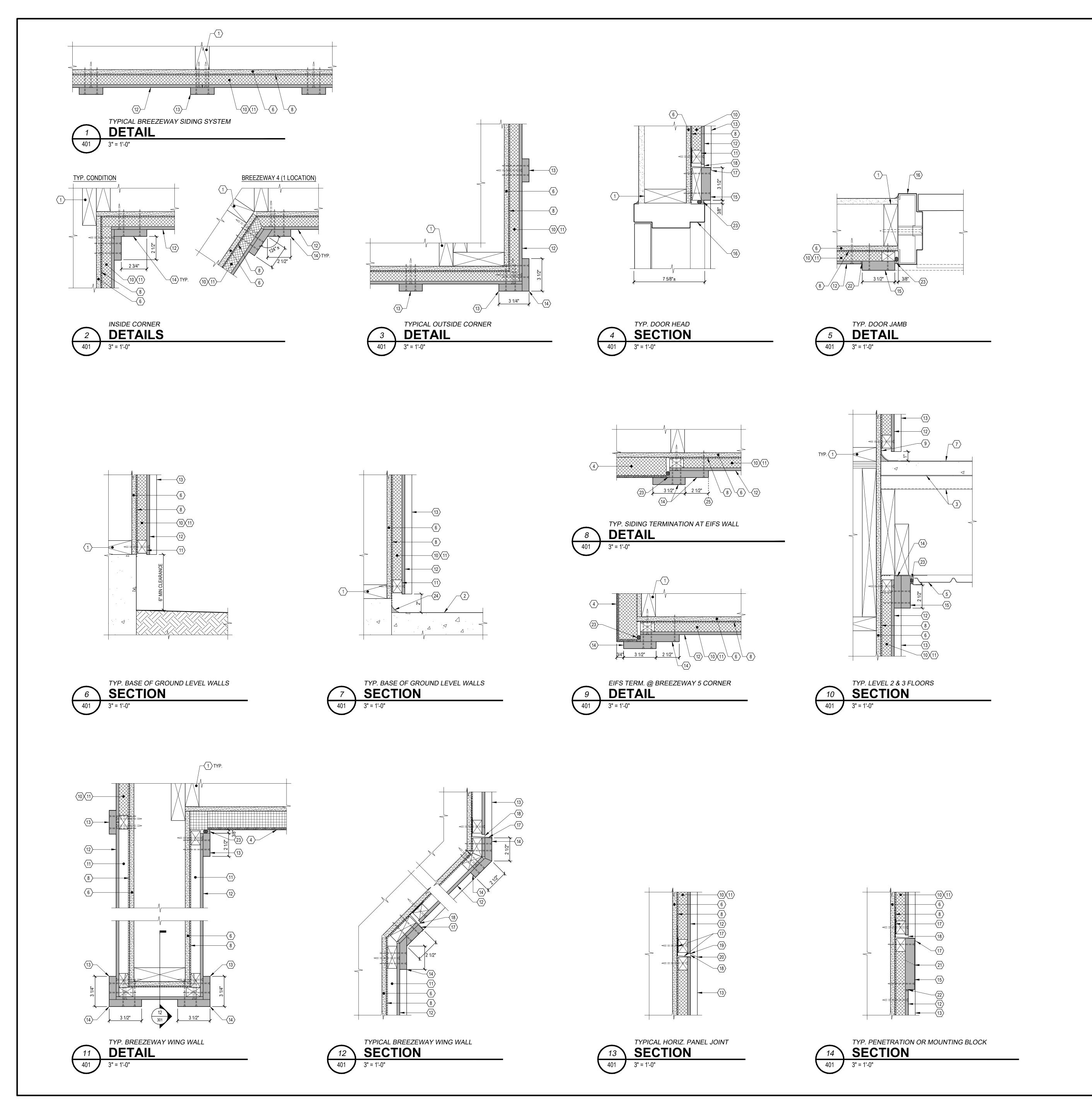
D. Morehead NGINEER OF RECORD:

Northern University

> Norse Hall **Facade Repairs** and Recladding NKU-29-2021

REPAIR DETAILS

02/23/2021



- A. KEY NOTES APPLY TO ALL DRAWINGS ON SHEET 401. ALL KEY NOTES WILL NOT BE USED ON ALL DRAWINGS.
- B. EXISTING WALL FRAMING SHOWN IN DETAILS IS FOR REFERENCE ONLY AND DOES NOT NECESSARY REFLECT CONCEALED FRAMING CONDITIONS.
- C. DETAILS DEVELOPED FROM FIBER CEMENT SIDING MANUFACTURER'S STANDARD DETAILS AND INSTALLATION REQUIREMENTS. REVIEW WITH MANUFACTURER'S REPRESENTATIVE PRIOR TO
- D. EXISTING EIFS IS NOT SHOWN EXCEPT AT LOCATIONS SHOWING INTERFACE BETWEEN EIFS AND NEW CLADDING SYSTEM. CONTRACTOR SHALL DEMOLISH EXISTING EIFS TO SHEATHING IN ALL AREAS TO RECEIVE NEW CLADDING.

KEY NOTES:

INSTALLATION.

- 1. EXISTING FRAMING TO REMAIN.
- 2. EXISTING CONCRETE SLAB ON GRADE TO REMAIN.
- 3. EXISTING CONCRETE SLAB ON METAL DECKING TO REMAIN.
- 4. EXISTING EIFS TO REMAIN. CUT CLEAN VERTICAL EDGE AS SHOWN TO ALLOW FOR INSTALLATION OF NEW CLADDING SYSTEM.
- 5. EXISTING VINYL SOFFIT CEILING TO REMAIN.

SPECIFICATION SECTION 074646.

SECTION 074646.

- 6. EXISTING FIBERGLASS-FACED GYPSUM SHEATHING PANEL TO REMAIN. DETERIORATED OR DAMAGED SHEATHING TO BE REPLACED ON A UNIT COST BASIS. REFER TO SPECIFICATION SECTIONS 012200 & 061643.
- 7. NEW TRAFFIC MEMBRANE TO BE INSTALLED AT BREEZEWAY LEVEL 2 & 3 SLABS. REFER TO DETAILS 8/301, 9/301, & 10/301 AND SPECIFICATION SECTION 071800
- 8. NEW LIQUID-APPLIED AIR BARRIER. REFER TO SPECIFICATION SECTION 072726.
- AIR BARRIER TO BE APPLIED OVER TRAFFIC MEMBRANE AT BASE OF WALL. REFER TO DETAIL 10/301. EDGE OF AIR BARRIER TO BE TAPED TO PROVIDE STRAIGHT, NEAT EDGE AT TOP OF MEMBRANE COVE JOINT.
- 10. NEW 5/4X2 PRESSURE TREATED HORIZONTAL FURRING STRIPS @ 16" O.C., ATTACHED TO EXISTING FRAMING WITH (2) NAILS AT EACH STUD. REFER TO SPECIFICATION SECTION 074646.
- 11. NEW 1" THICK RIGID INSULATION, CUT AND FRICTION-FIT BETWEEN FURRING STRIPS. REFER TO
- 12. NEW FIBER CEMENT SIDING PANELS. REFER TO SPECIFICATION SECTION 074646.
- 13. NEW VERTICAL FIBER CEMENT BATTEN BOARD TRIM AT 12" O.C. REFER TO SPECIFICATION
- 14. NEW 4/4 FIBER CEMENT TRIM. REFER TO SPECIFICATION SECTION 074646.
- 15. NEW 5/4 FIBER CEMENT TRIM. REFER TO SPECIFICATION SECTION 074646.
- 16. NEW METAL DOOR AND FRAME. REFER TO SPECIFICATION SECTION 081100.
- 17. NEW ALUMINUM FLASHING AT TOP OF TRIM. EXTEND UP FACE OF SHEATHING AND ADHERE TOP EDGE OF TRIM TO AIR BARRIER WITH FLASHING TAP. REFER TO SPECIFICATION SECTION 0.737326
- 18. PROVIDE 1/4" MIN. GAP BETWEEN BOTTOM EDGE OF PANEL AND TOP OF FLASHING. DO NOT FILL GAP WITH JOINT SEALANT.
- 19. JOINT AT BOTTOM OF PANEL TO ALIGN WITH BOTTOM OF PANEL ABOVE LEVELS 2 & 3 BREEZEWAY SLABS. REFER TO DETAIL10/301.
- 20. PROVIDE SCARF JOINT IN BATTEN BOARD TRIM TO ALIGN WITH BOTTOM OF GAP AT PANELS.
- 21. PROVIDE SCARF JOINT IN TRIM BLOCK IF REQUIRED TO FIT AROUND PENETRATIONS IN WALL.
- 22. PROVIDE 1/8" MIN. GAP BETWEEN SIDING PANEL AND EDGE OF TRIM, AND FILL JOINT WITH SEALANT TO MATCH SIDING. REFER TO SPECIFICATION SECTION 079200.
- 23. NEW BACKER ROD AND SILICONE SEALANT. REFER TO DETAIL 6/301 AND SPECIFICATION SECTION 079200.
- 24. NEW SILICONE SEALANT COVE JOINT BETWEEN BASE OF WALL AND SLAB ON GRADE. REFER TO DETAIL 7/301 AND SPECIFICATION SECTION 079200.
- 25. ALIGN EDGE OF BATTEN BOARD WITH EDGE OF SLAB AND EXTERIOR FACE OF BEAM AT EAVE.

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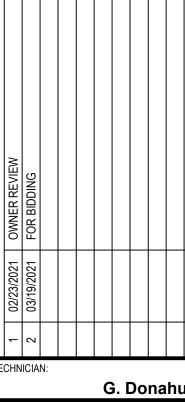
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PRELIMINARY DRAWING 03/19/2021

NOT TO BE USED FOR CONSTRUCTION



G. Donahue
PROJECT MANAGER:

D. Morehead

W. Ju

Northern Kentucky University

> Norse Hall Facade Repairs and Recladding NKU-29-2021

DRAWING TITLE:

RECLADDING

JOB NUMBER: DATE: 20406.00 02/23/2021

DETAILS